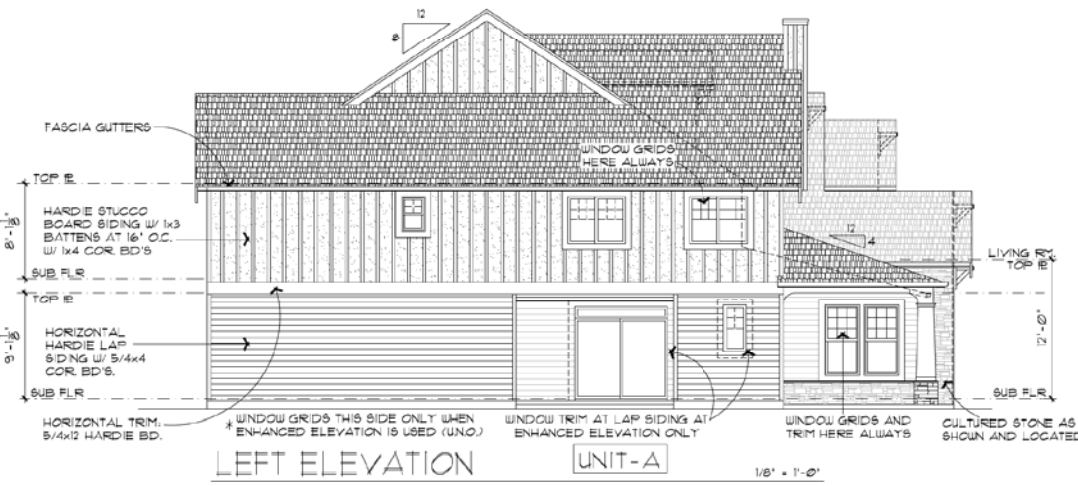


3-PLEX AMERICAN

LEFT UNIT-A
MAIN LEVEL: 102 SQ FT
UPPER LEVEL: 1025 SQ FT
GRAND TOTAL: 1181 SQ FT
GARAGE: 501 SQ FT

CENTER UNIT-B
MAIN LEVEL: 984 SQ FT
UPPER LEVEL: 1025 SQ FT
GRAND TOTAL: 1636 SQ FT
GARAGE: 430 SQ FT

RIGHT UNIT-C
MAIN LEVEL: 102 SQ FT
UPPER LEVEL: 1025 SQ FT
GRAND TOTAL: 1181 SQ FT
GARAGE: 501 SQ FT

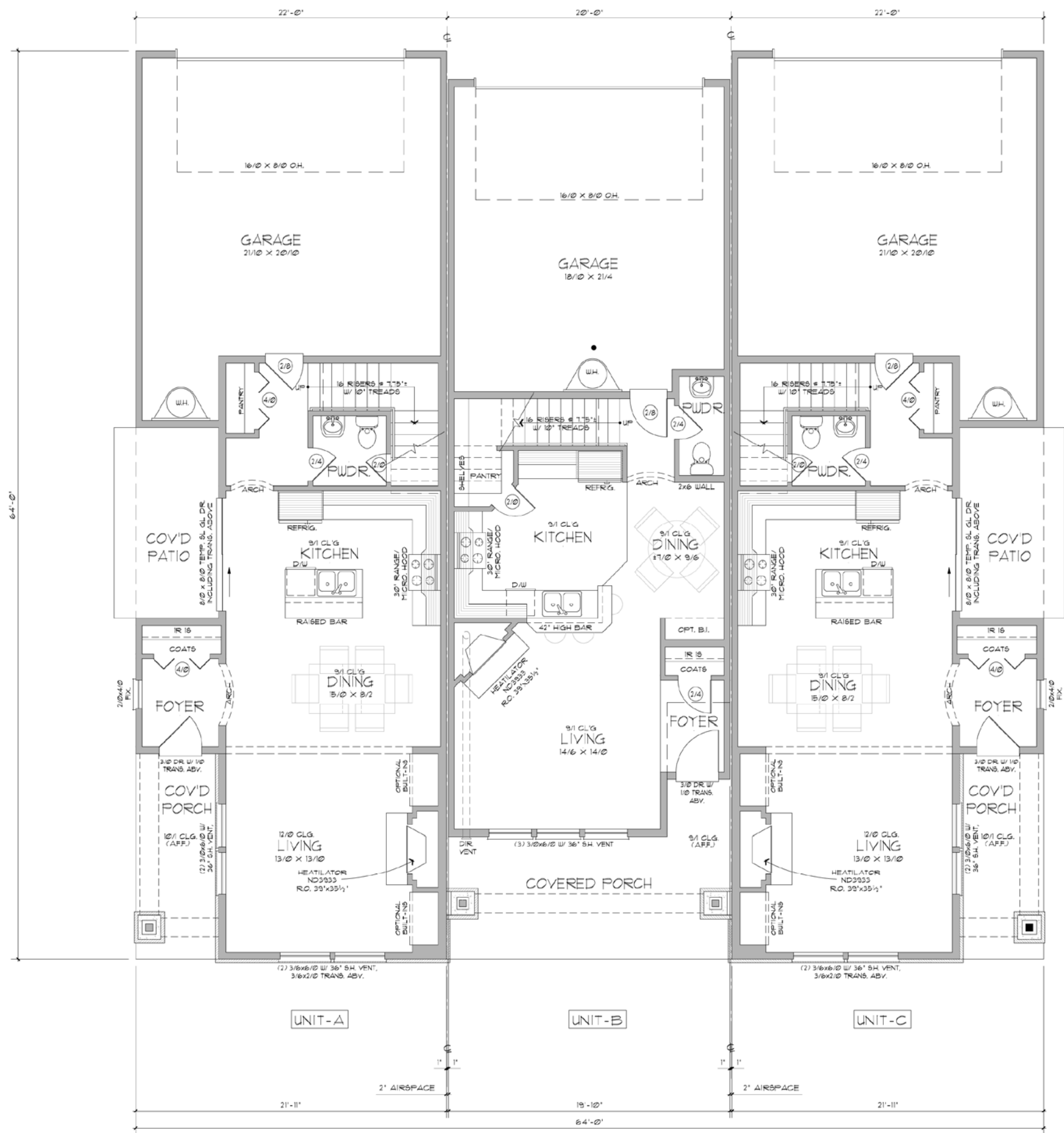


3-PLEX AMERICAN

LEFT UNIT-A
MAIN LEVEL: 1027 SQ FT
UPPER LEVEL: 1089 SQ FT
GRAND TOTAL: 1781 SQ FT
GARAGE: 501 SQ FT

CENTER UNIT-B
MAIN LEVEL: 584 SQ FT
UPPER LEVEL: 1052 SQ FT
GRAND TOTAL: 1636 SQ FT
GARAGE: 430 SQ FT

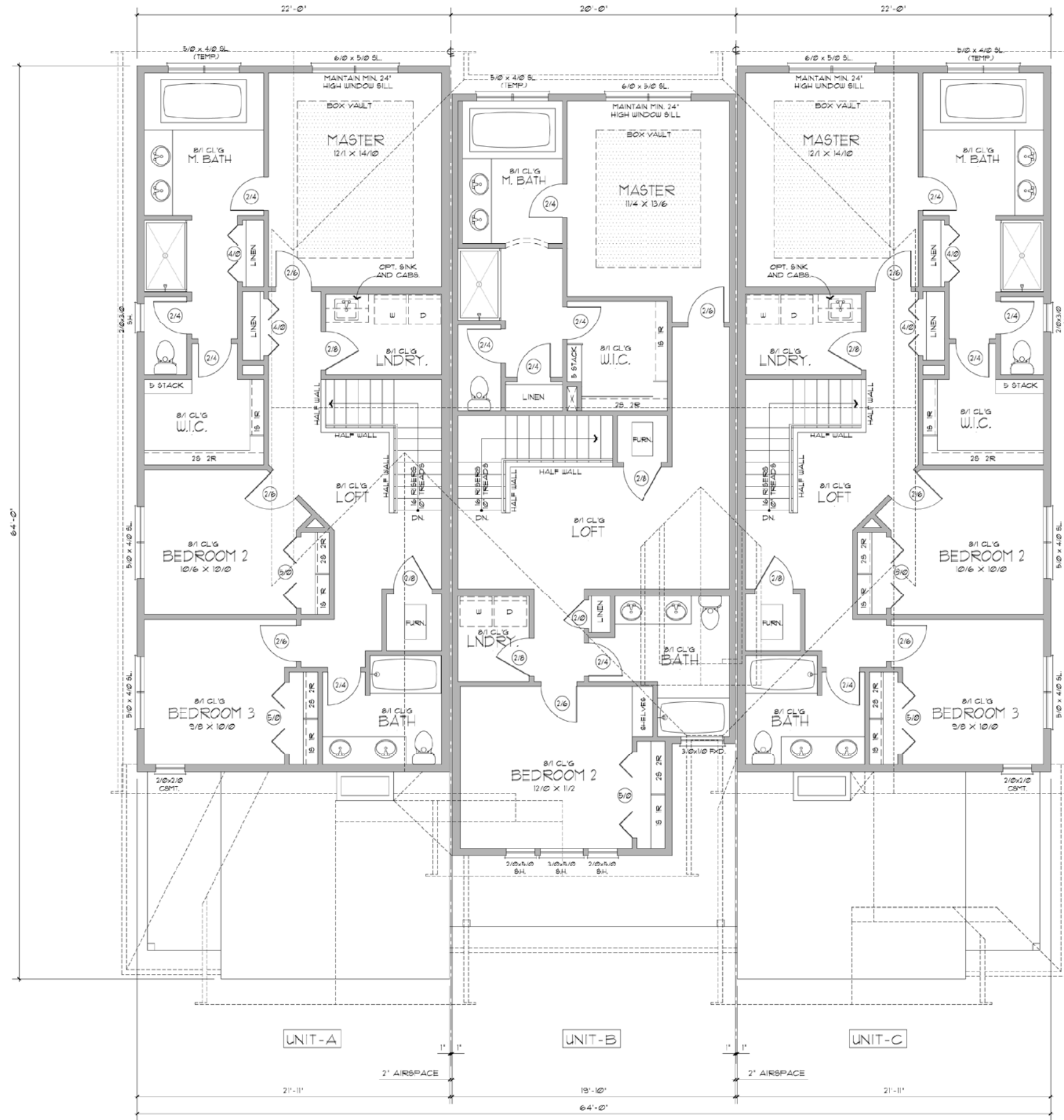
RIGHT UNIT-C
MAIN LEVEL: 1027 SQ FT
UPPER LEVEL: 1089 SQ FT
GRAND TOTAL: 1781 SQ FT
GARAGE: 501 SQ FT



MAIN FLOOR PLAN-A

1/4" = 1'-0"

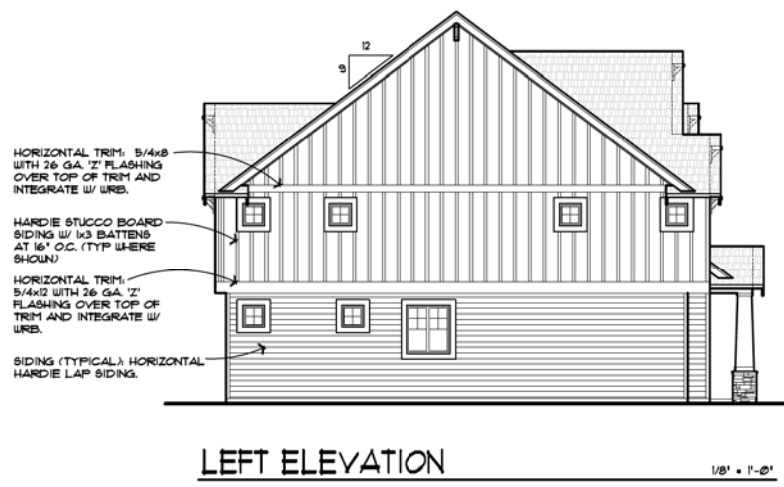
3-PLEX AMERICAN	
LEFT UNIT-A	
MAIN LEVEL:	107 SQ FT
UPPER LEVEL:	1085 SQ FT
GRAND TOTAL:	1,191 SQ FT
GARAGE:	501 SQ FT
CENTER UNIT-B	
MAIN LEVEL:	584 SQ FT
UPPER LEVEL:	1085 SQ FT
GRAND TOTAL:	1636 SQ FT
GARAGE:	430 SQ FT
RIGHT UNIT-C	
MAIN LEVEL:	107 SQ FT
UPPER LEVEL:	1085 SQ FT
GRAND TOTAL:	1,191 SQ FT
GARAGE:	501 SQ FT



UPPER FLOOR PLAN-A

1/4"=1'-0"

These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may lead to civil action or constitute a criminal offense.



1487 NONAME-A LEFT + RIGHT

LEFT + RIGHT UNIT	
MAIN LEVEL:	626 SQ FT
UPPER LEVEL:	891 SQ FT
GRAND TOTAL:	1,487 SQ FT
GARAGE:	220 SQ FT

1446 NONAME-A AMERICAN CENTER

CENTER UNIT	
MAIN LEVEL:	588 SQ FT
UPPER LEVEL:	858 SQ FT
GRAND TOTAL:	1,446 SQ FT
GARAGE:	218 SQ FT

NOTE :
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

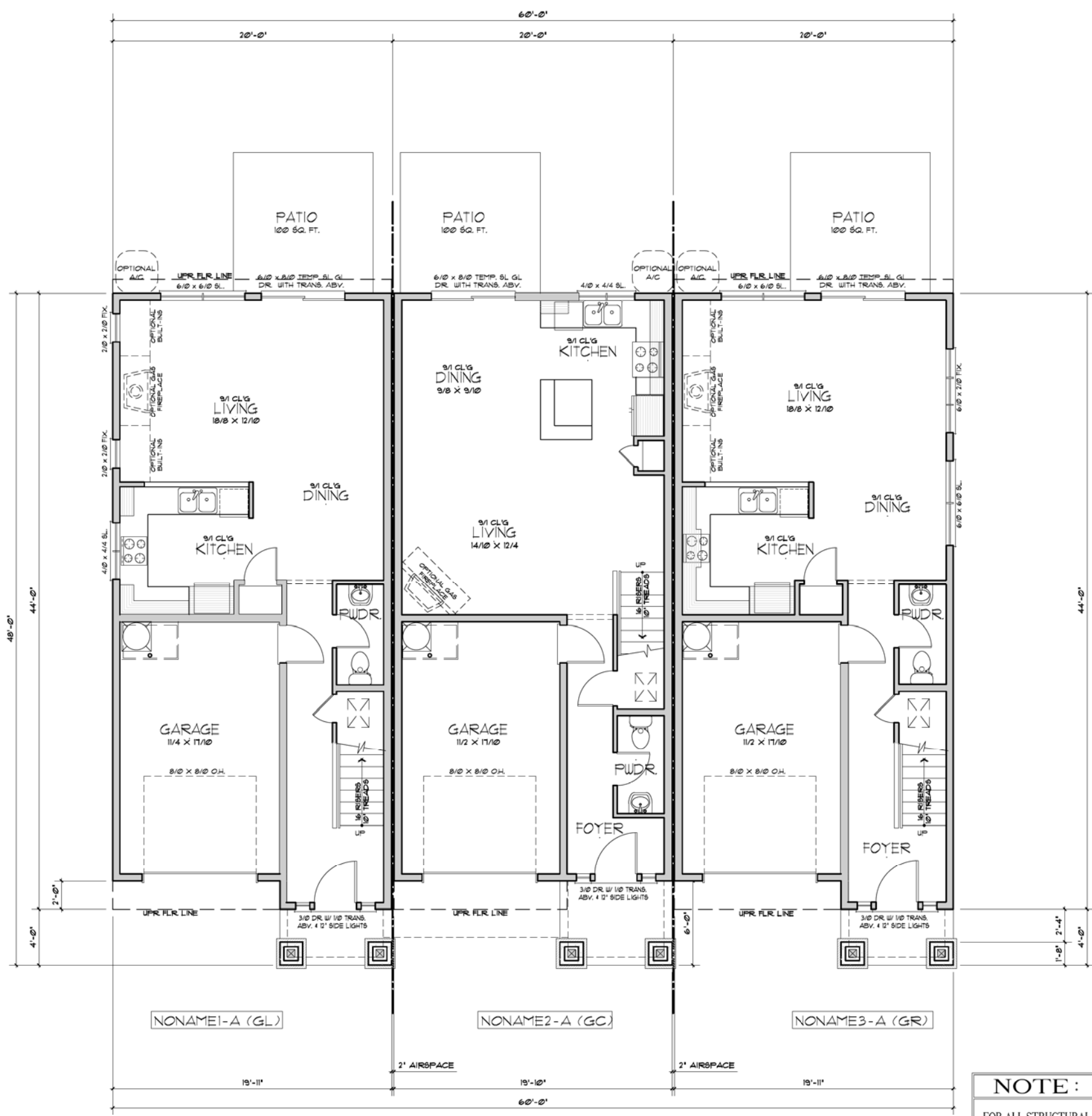


**ARBOR
CUSTOM HOMES**

735 S.W. 158TH AVENUE
BEAVERTON, OREGON 97006
PHONE (503) 641-7342
FAX (503) 641-7661

These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may lead to civil action or constitute a criminal offense.

1/2/12 PRELIM LAYOUT J.J.G.



**1487 NONAME-A
LEFT + RIGHT**

LEFT + RIGHT UNIT
MAIN LEVEL: 606 SQ FT
UPPER LEVEL: 881 SQ FT
GRAND TOTAL: 1,487 SQ FT
GARAGE: 220 SQ FT

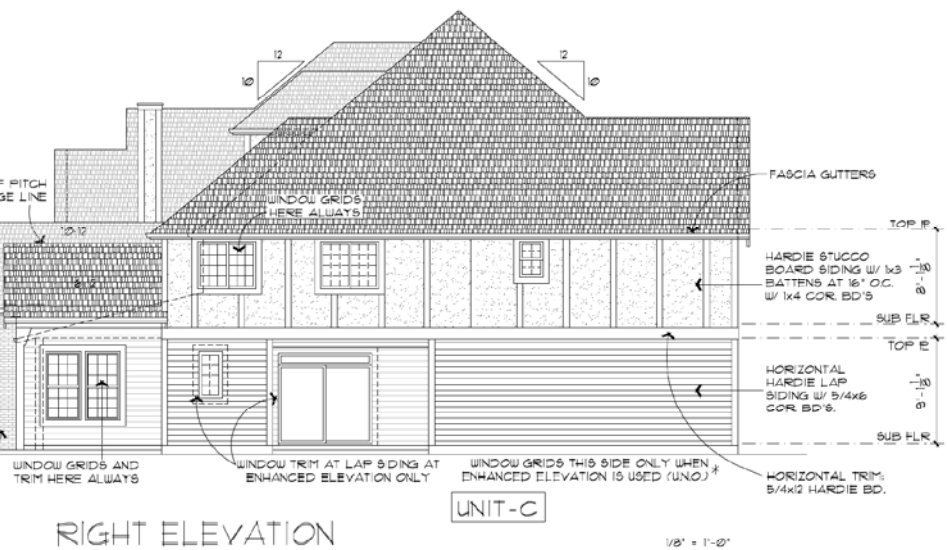
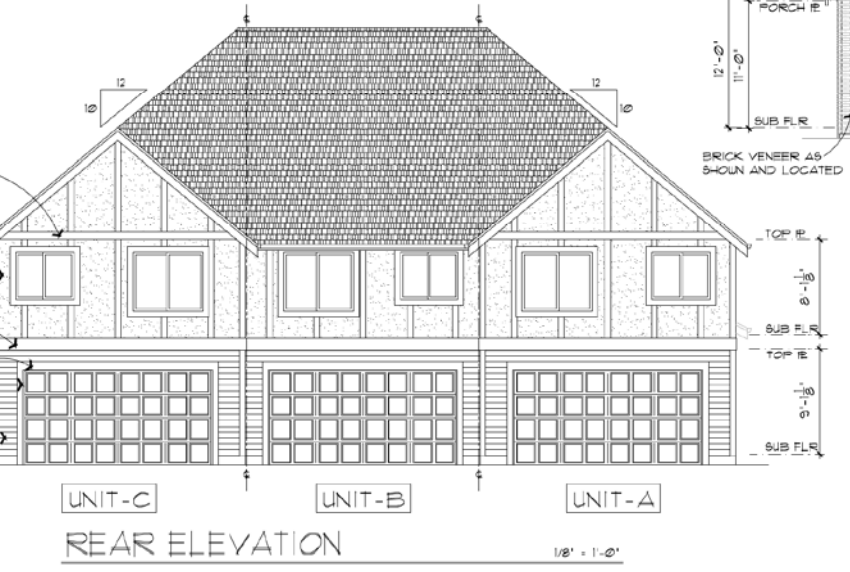
**1446 NONAME-A
AMERICAN CENTER**

CENTER UNIT
MAIN LEVEL: 588 SQ FT
UPPER LEVEL: 858 SQ FT
GRAND TOTAL: 1,446 SQ FT
GARAGE: 218 SQ FT

NOTE :
FOR ALL STRUCTURAL
INFORMATION REFER
TO THE (S) SHEETS

MAIN FLOOR PLAN

3-PLEX EURO	
LEFT UNIT-A	
MAIN LEVEL:	702 SQ FT
UPPER LEVEL:	1,029 SQ FT
GRAND TOTAL:	1,781 SQ FT
GARAGE:	501 SQ FT
CENTER UNIT-B	
MAIN LEVEL:	584 SQ FT
UPPER LEVEL:	1,029 SQ FT
GRAND TOTAL:	1,636 SQ FT
GARAGE:	430 SQ FT
RIGHT UNIT-C	
MAIN LEVEL:	702 SQ FT
UPPER LEVEL:	1,029 SQ FT
GRAND TOTAL:	1,781 SQ FT
GARAGE:	501 SQ FT



3-PLEX EURO

LEFT UNIT-A
 MAIN LEVEL: 1027 SQ FT
 UPPER LEVEL: 1029 SQ FT
 GRAND TOTAL: 1787 SQ FT
 GARAGE: 501 SQ FT

CENTER UNIT-B
 MAIN LEVEL: 584 SQ FT
 UPPER LEVEL: 1029 SQ FT
 GRAND TOTAL: 1636 SQ FT
 GARAGE: 430 SQ FT

RIGHT UNIT-C
 MAIN LEVEL: 1027 SQ FT
 UPPER LEVEL: 1029 SQ FT
 GRAND TOTAL: 1787 SQ FT
 GARAGE: 501 SQ FT



735 S.W. 158TH AVENUE
 BEAVERTON, OREGON 97006
 PHONE (503) 641-7342
 FAX (503) 641-7661



MAIN FLOOR PLAN-EURO

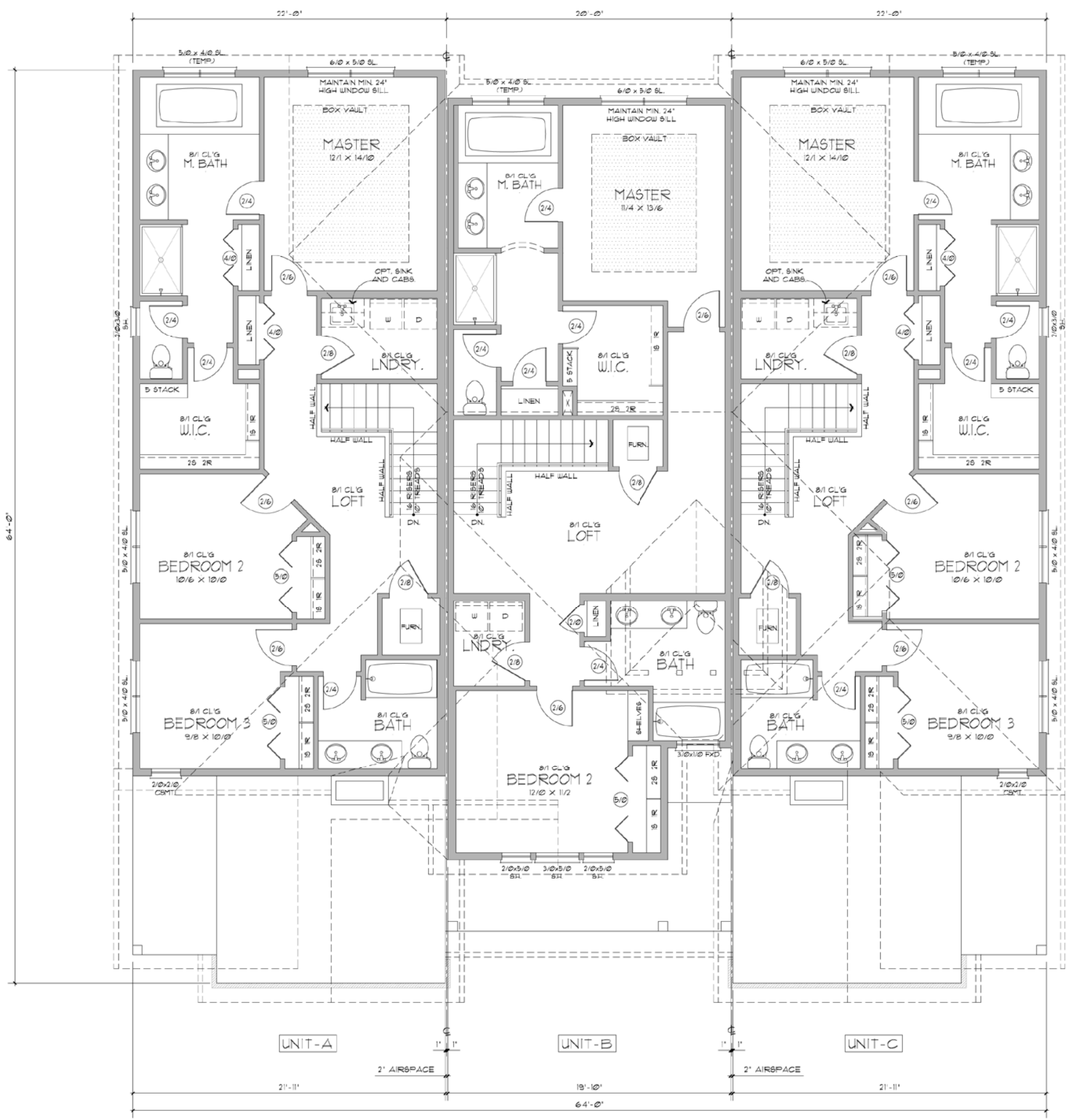
1/4"=1'-0"

3-PLEX EURO

LEFT UNIT-A
 MAIN LEVEL: 1022 SQ FT
 UPPER LEVEL: 1029 SQ FT
 GRAND TOTAL: 1781 SQ FT
 GARAGE: 501 SQ FT

CENTER UNIT-B
 MAIN LEVEL: 984 SQ FT
 UPPER LEVEL: 1051 SQ FT
 GRAND TOTAL: 1636 SQ FT
 GARAGE: 430 SQ FT

RIGHT UNIT-C
 MAIN LEVEL: 1022 SQ FT
 UPPER LEVEL: 1029 SQ FT
 GRAND TOTAL: 1781 SQ FT
 GARAGE: 501 SQ FT

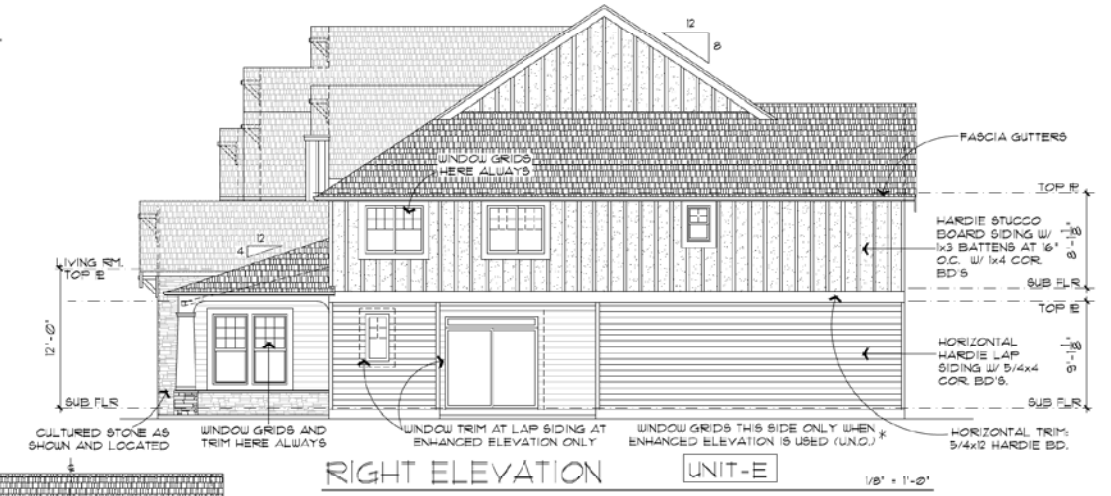
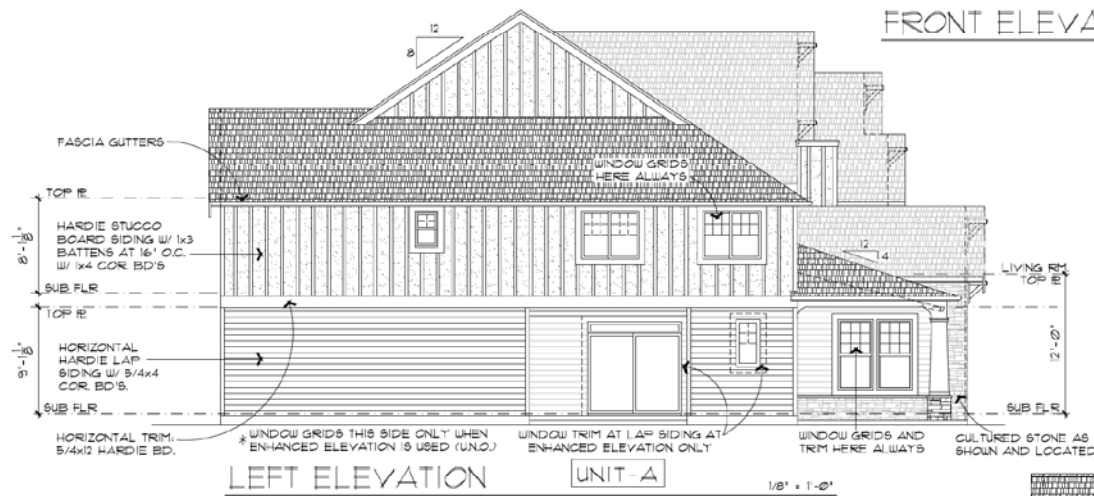


UPPER FLOOR PLAN-EURO

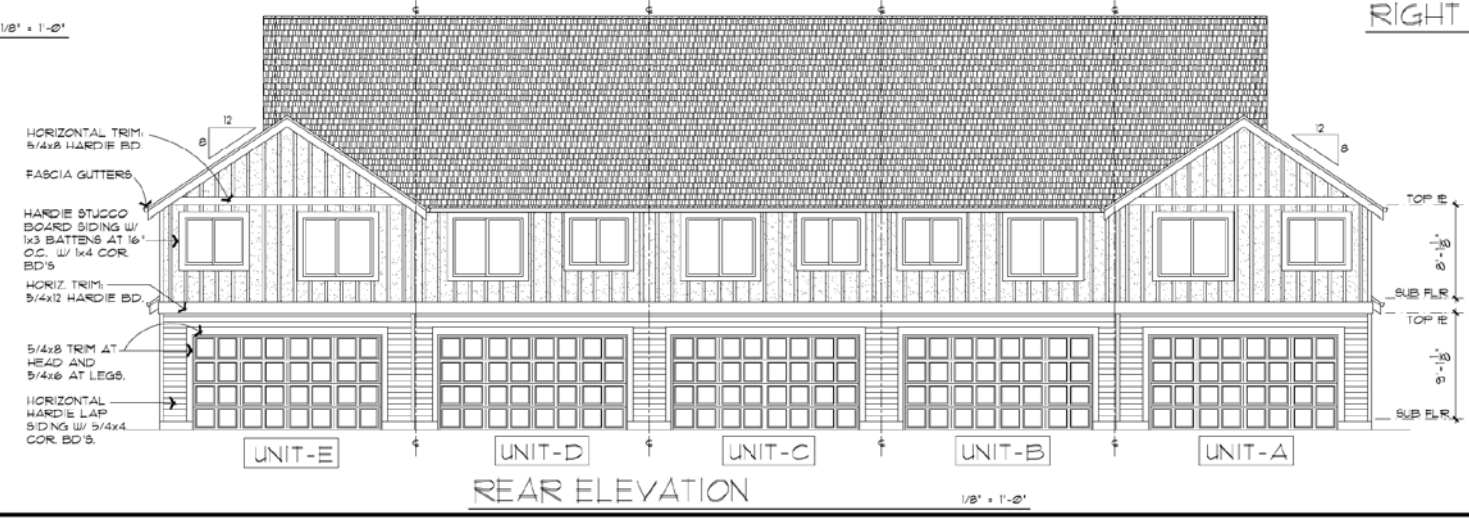
1/4" = 1'-0"

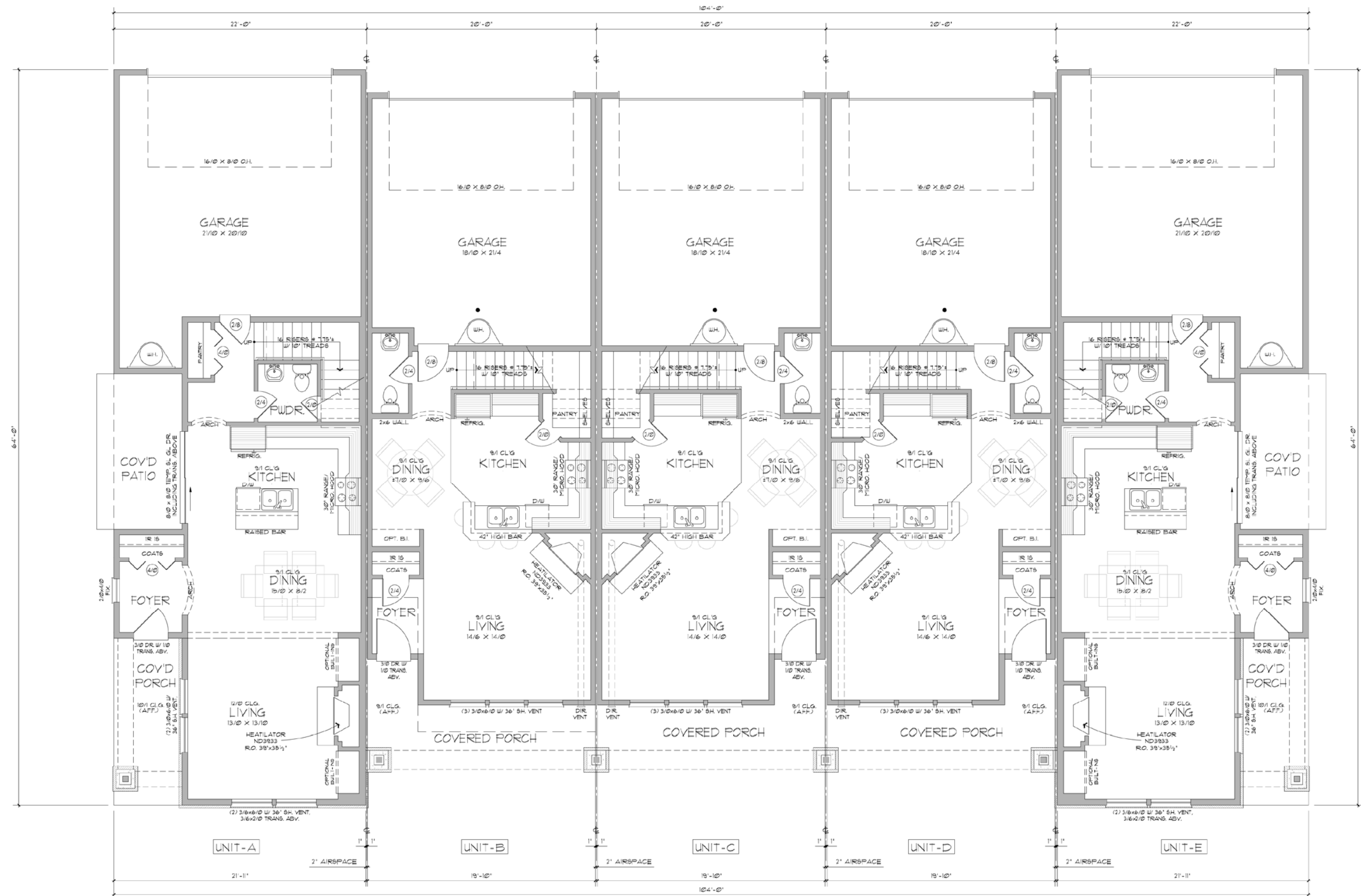


FRONT ELEVATION - AMERICAN



5-PLEX AMERICAN	
LEFT UNIT-A	L-CENTER UNIT-B
MAIN LEVEL: 102 SQ FT	MAIN LEVEL: 584 SQ FT
UPPER LEVEL: 1025 SQ FT	UPPER LEVEL: 1063 SQ FT
GRAND TOTAL: 1127 SQ FT	GRAND TOTAL: 1647 SQ FT
GARAGE: 50 SQ FT	GARAGE: 430 SQ FT
CENTER UNIT-C	R-CENTER UNIT-D
MAIN LEVEL: 584 SQ FT	MAIN LEVEL: 584 SQ FT
UPPER LEVEL: 1032 SQ FT	UPPER LEVEL: 1025 SQ FT
GRAND TOTAL: 1616 SQ FT	GRAND TOTAL: 1643 SQ FT
GARAGE: 430 SQ FT	GARAGE: 430 SQ FT
RIGHT UNIT-E	
MAIN LEVEL: 102 SQ FT	
UPPER LEVEL: 1025 SQ FT	
GRAND TOTAL: 1127 SQ FT	
GARAGE: 50 SQ FT	



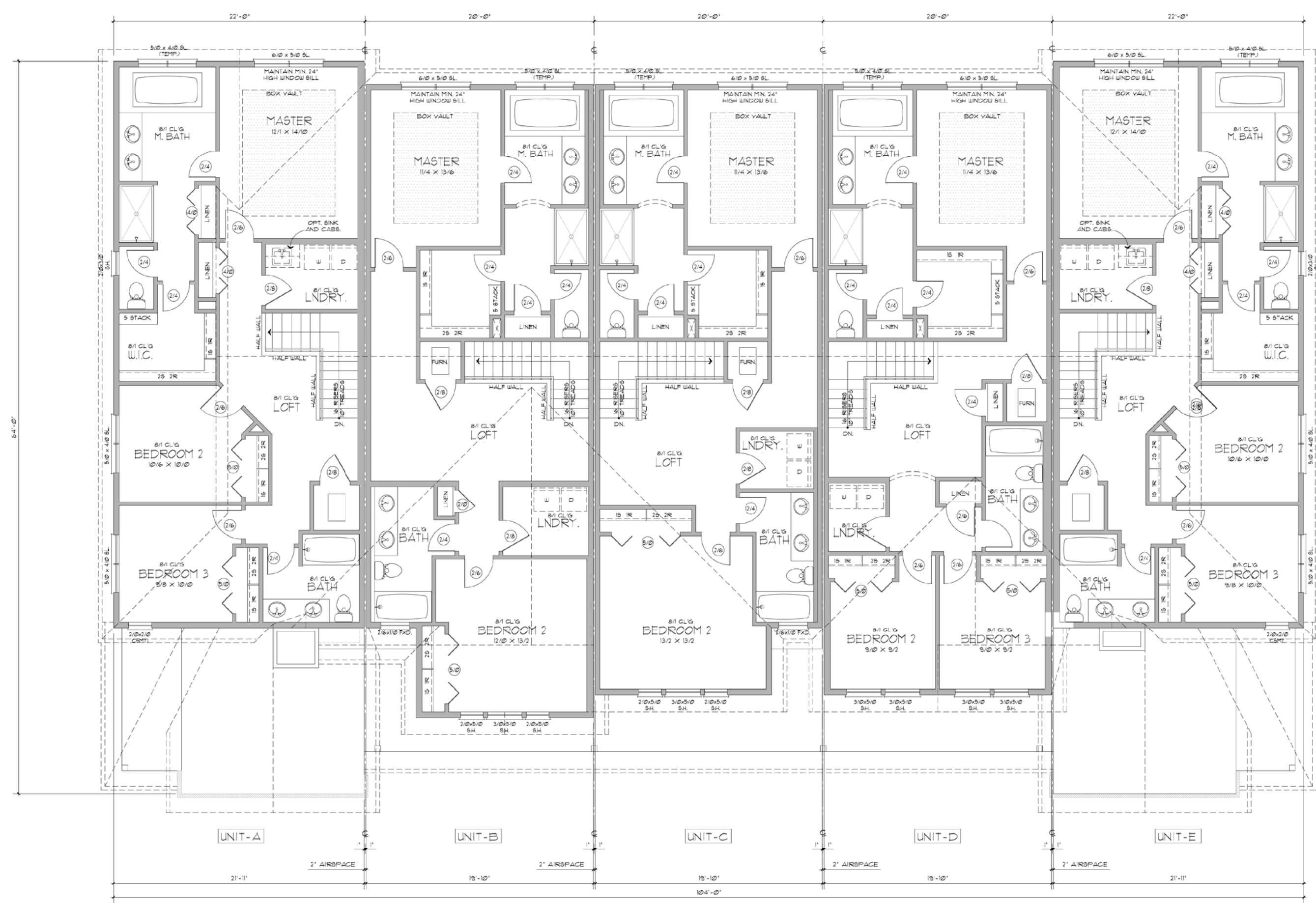


MAIN FLOOR PLAN-A

1/4" = 1'-0"

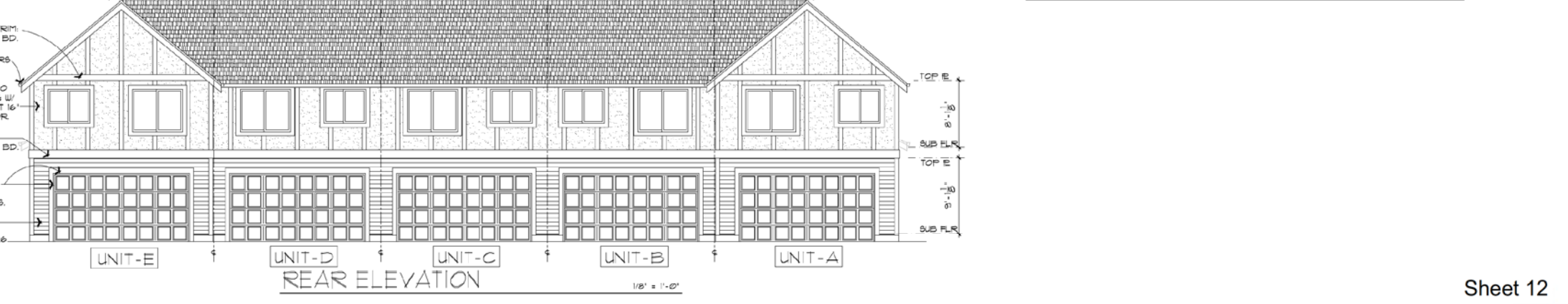
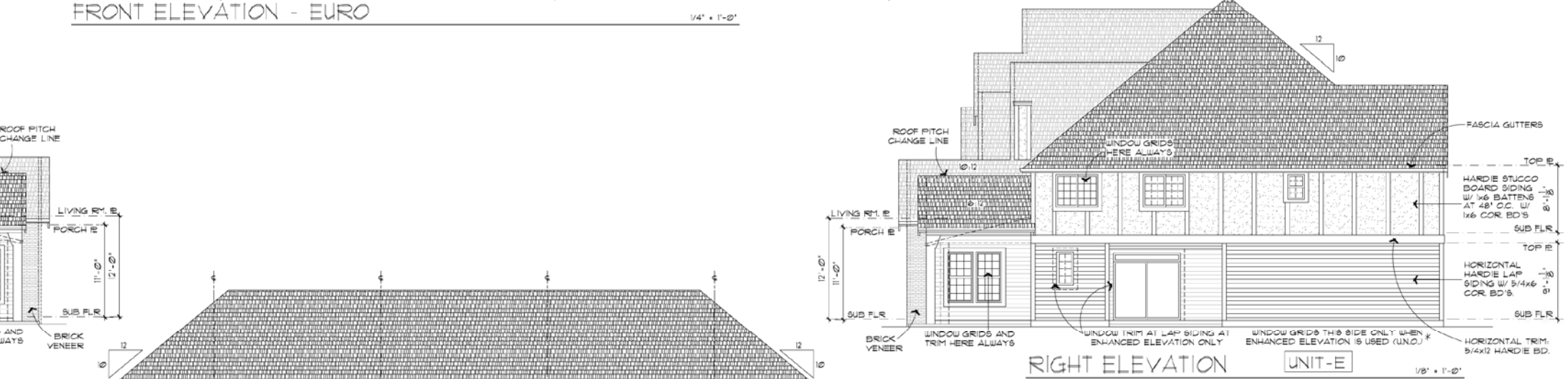
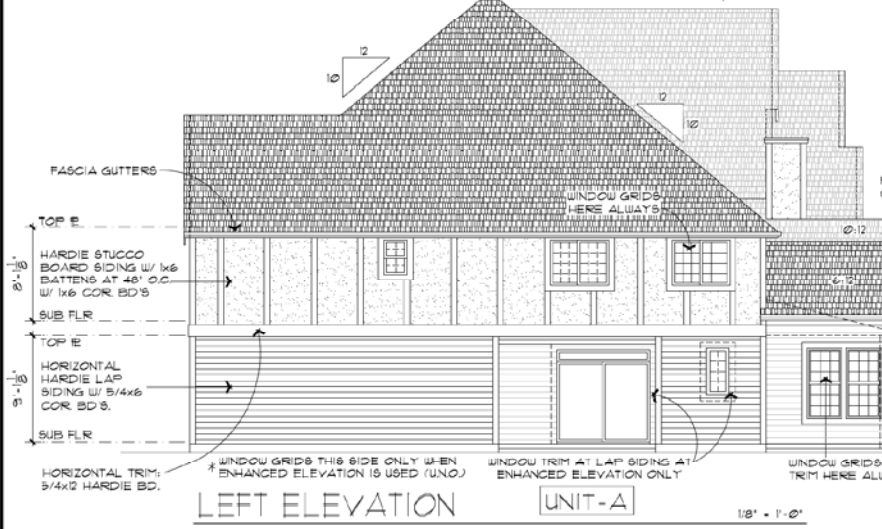


735 S.W. 158TH AVENUE
BEAVERTON, OREGON 97006
PHONE (503) 641-7342
FAX (503) 641-7661



UPPER FLOOR PLAN-A

1/4" = 1'-0"

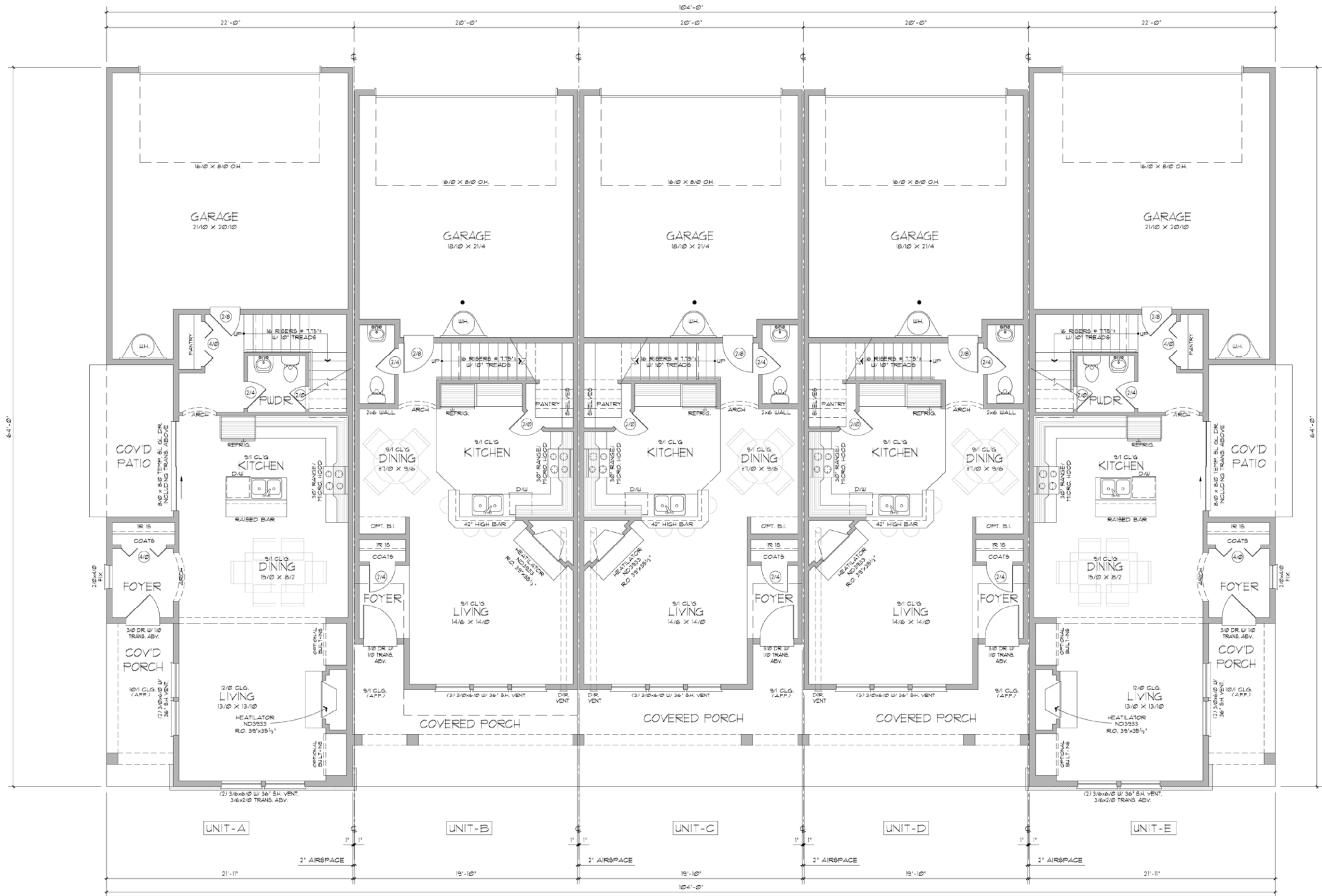


5-PLEX EURO			
LEFT UNIT-A		L-CENTER UNIT-B	
MAIN LEVEL:	1,071 SQ FT	MAIN LEVEL:	584 SQ FT
UPPER LEVEL:	1,025 SQ FT	UPPER LEVEL:	1,025 SQ FT
GRAND TOTAL:	1,161 SQ FT	GRAND TOTAL:	1,643 SQ FT
GARAGE:	501 SQ FT	GARAGE:	430 SQ FT
CENTER UNIT-C		R-CENTER UNIT-D	
MAIN LEVEL:	584 SQ FT	MAIN LEVEL:	584 SQ FT
UPPER LEVEL:	1,025 SQ FT	UPPER LEVEL:	1,025 SQ FT
GRAND TOTAL:	1,616 SQ FT	GRAND TOTAL:	1,643 SQ FT
GARAGE:	430 SQ FT	GARAGE:	430 SQ FT
RIGHT UNIT-E			
MAIN LEVEL:	1,071 SQ FT		
UPPER LEVEL:	1,025 SQ FT		
GRAND TOTAL:	1,161 SQ FT		
GARAGE:	501 SQ FT		



ARBOR
CUSTOM HOMES

735 S.W. 158TH AVENUE
BEAVERTON, OREGON 97006
PHONE (503) 641-7342
FAX (503) 641-7661



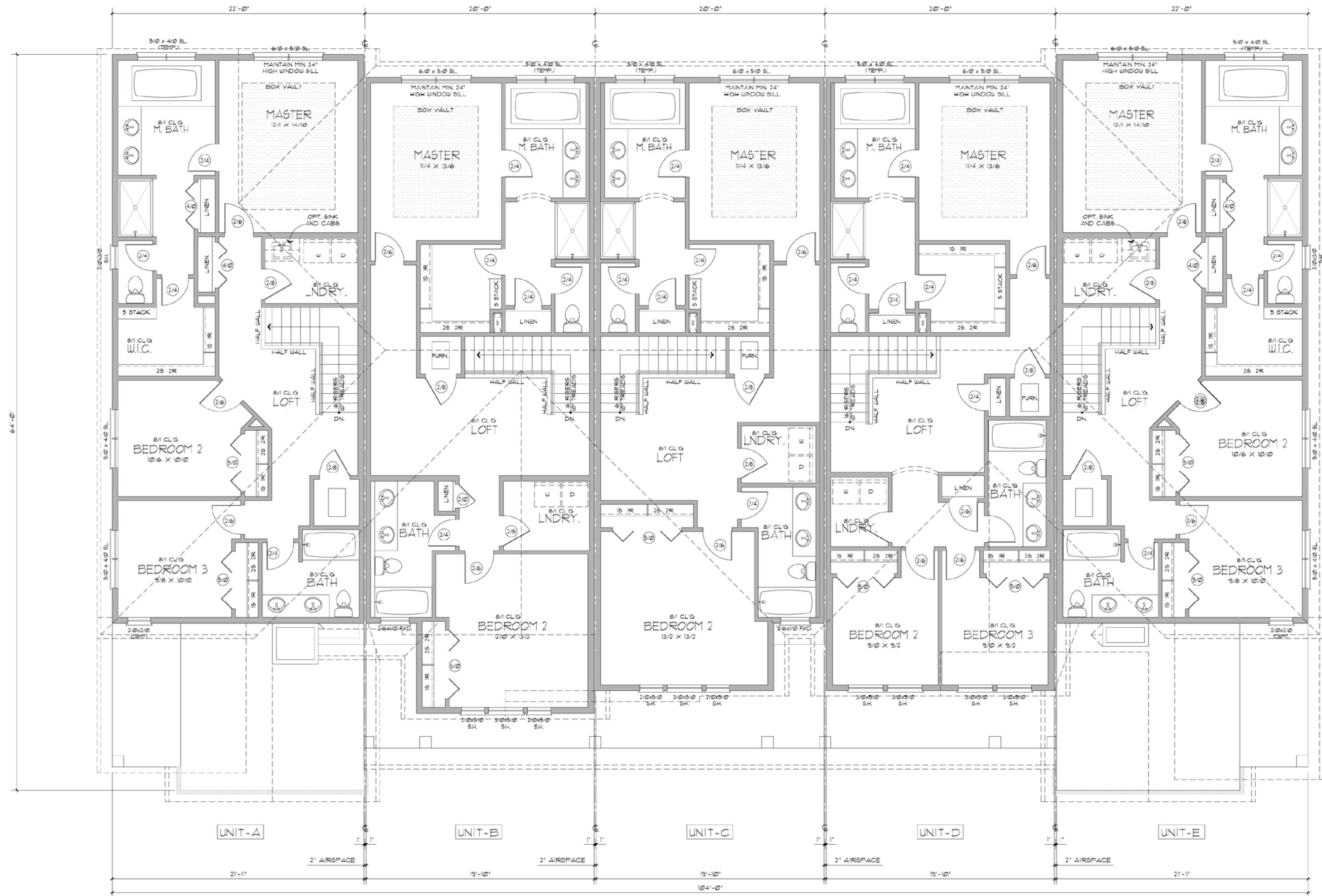
MAIN FLOOR PLAN-EURO

1/4" = 1'-0"



ARBOR
CUSTOM HOMES

735 S.W. 158TH AVENUE
BEAVERTON, OREGON 97006
PHONE (503) 641-7342
FAX (503) 641-7661



UPPER FLOOR PLAN-EURO

1/4"=1'-0"

These building plans are protected by United States Federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may result in civil action or constitute a criminal offense.

- 4/11/11 NEW PLAN PRELIM JUG
- 8/14/11 RAISON CODE UPDATES JUG
- 6/15/11 PLAN IMPLEMENTED JUG
- 8/3/11 P.C.# JUG
- 10/18/11 STAIR/DEPTH FIX JUG
- 10/21/11 P.C.# IMPLEMENTED JUG
- 1/4/11 RFP VENT/SHALL REVIS JUG
- 1/26/11 EXTENDED STONE REVIS JUG
- 1/28/11 P.C.# IMPLEMENTED JUG
- 1/28/11 D.M. CONVERSION JUG
- 1/16/12 P.C.# IMPLEMENTED JUG
- 2/11/12 LOW VOLTAGE UPDATES JUG
- 4/23/12 RFP CLOSET FIX JUG
- 7/16/12 RADON/HVAC UPDATES JUG
- 1/16/13 P.C.# IMPLEMENTED JUG
- 9/17/13 2013 'A' UPDATE SHG

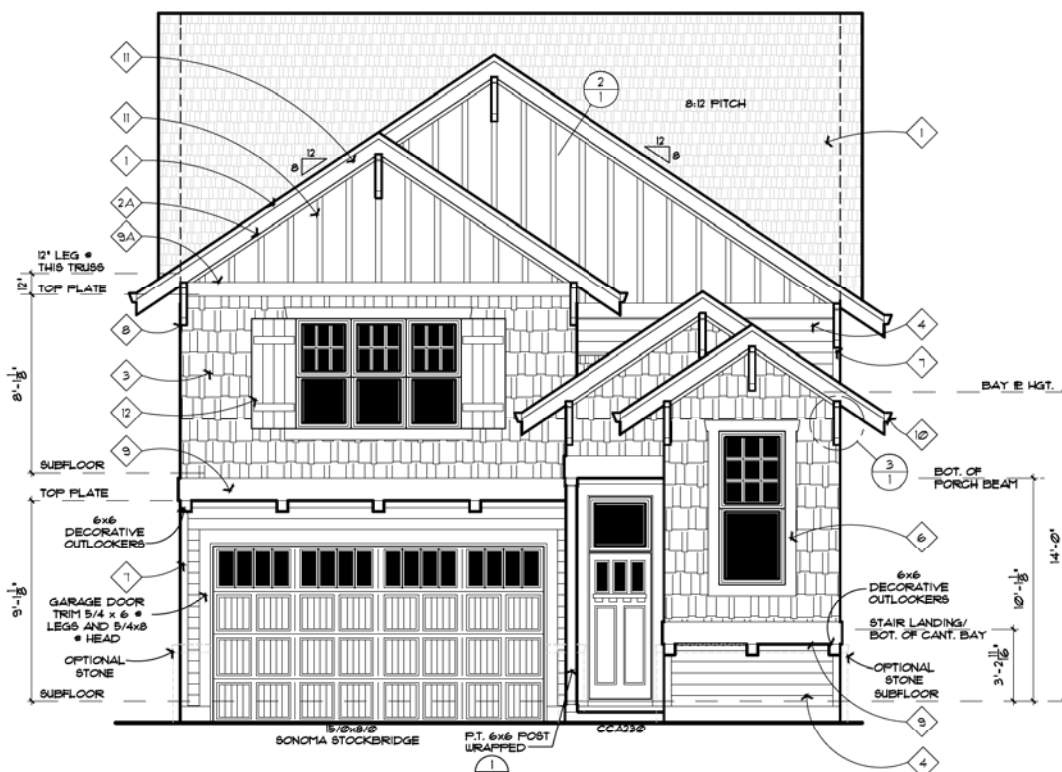
PLAN 2237 ASHMONT AMERICAN GARAGE LEFT

MAIN LEVEL: 806 SQ FT
UPPER LEVEL: 1341 SQ FT
GRAND TOTAL: 2233 SQ FT

GARAGE: 363 SQ FT

ELEVATION KEYNOTES

1. ROOFING (TYPICAL): 30 YEAR FIBERGLASS COMPOSITION SHINGLES.
2. VERGE BOARD (TYPICAL): 1 X 3 TRIM ON 2 X 10 VERGE BOARD.
- 2A. SHADOW TRIM (TYPICAL AT GABLES) 5/4x8 AT FRONT SHINGLE SIDING, 1x8 AT FRONT AND ENHANCED SIDE PANEL SIDING AND 1x3 AT SIDE ELEVATION PANEL SIDING.
3. ACCENT SIDING (WHERE SHOWN): SHINGLE SIDING w/ METAL CORNERS.
4. SIDING: HORIZONTAL HARDI-PANK LAP SIDING.
5. P.T. 6x6 WRAPPED POST. SEE DETAIL 1/1.
6. WINDOW TRIM: 5/4 X 6 AROUND WINDOWS AND DOORS AT FRONT AND AT ENHANCED SIDE ELEVATION.
7. CORNER TRIM: R5 5/4 X 4 AT LAP SIDING.
8. DECORATIVE GABLE BRACES SEE DET. 3/1.
9. HORIZONTAL TRIM: 5/4 X 12 W/ 26 GA. 'Z' FLASHING OVER TOP AND INTEGRATE W/ URB.
- 9A. HORIZONTAL TRIM: 5/4 X 8 W/ 26 GA. 'Z' FLASHING OVER TOP AND INTEGRATE W/ URB.
10. GUTTERS (TYPICAL): SEE SPECIFICATIONS.
11. SIDING: HARDI-PANEL STUCCO BOARD WITH 1 X 3 BATTENS @ 16" O.C.
12. SHUTTERS (TYPICAL): 24" WIDE AS SHOWN, MATCH WINDOW HEIGHT.



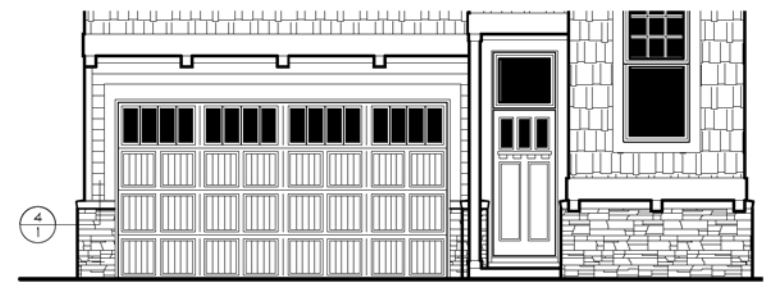
FRONT ELEVATION 1/4" = 1'-0"



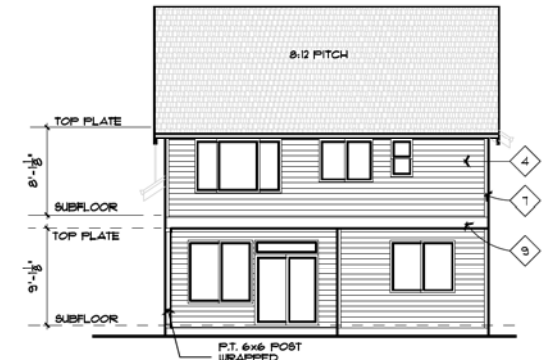
LEFT ELEVATION 1/8" = 1'-0"



RIGHT ELEVATION 1/8" = 1'-0"

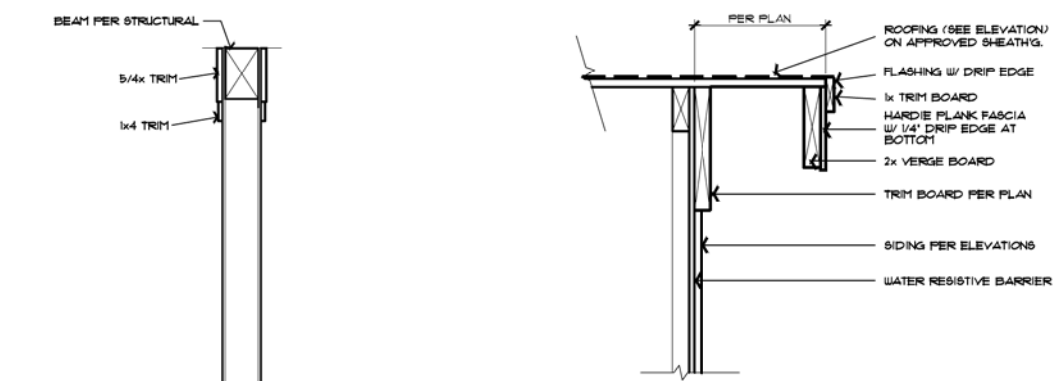


STONE OPTION 1/4" = 1'-0"

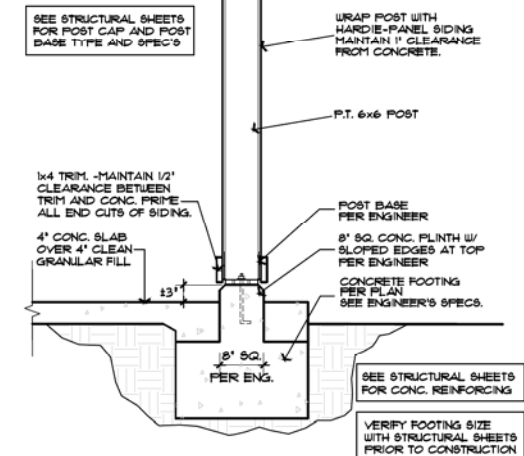


REAR ELEVATION 1/8" = 1'-0"

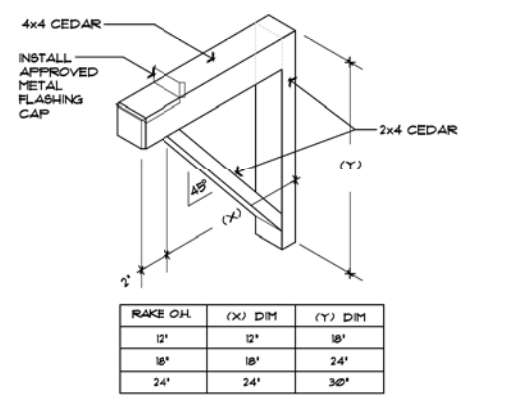
NOTE:
FOR ALL STRUCTURAL
INFORMATION REFER
TO THE (S) SHEETS



2 VERGE/RAKE DETAIL SCALE: N.T.S. FR-16B



3 COLUMN DETAIL SCALE: 1/4" = 1'-0" ARB-COL-9



3 VERGE BOARD BRACE GABLE ANGLE BRACKET SCALE: NONE BRACE

GENERAL NOTES AND SPECIFICATIONS

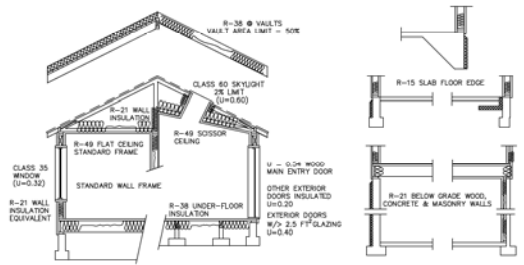
- CONSTRUCTION SHALL FULLY COMPLY WITH THE CURRENT OREGON EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS (2011 EDITION OF THE ORSC).
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PLEASE NOTIFY THE ARCHITECTURAL TEAM OF ANY VARIATIONS FROM THESE DRAWINGS.
- ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTURAL TEAM BEFORE PROCEEDING WITH WORK. THESE DOCUMENTS ARE COPYRIGHT PROTECTED AND MAY NOT BE REUSED, REDRAWN, TRACED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM WEST HILLS DEVELOPMENT.
- INSTALL APPROVED FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
- INSTALL WATERPROOF GYPSUM BOARD IN AND ABOVE ALL SHOWER AND TUB AREAS TO MINIMUM 1" ABOVE THE FLOOR.
- EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS. PROVIDE MECHANICAL VENTILATION TO MAINTAIN 5 AIR CHANGES PER HOUR IN BATHS CONTAINING A TUB AND/OR SHOWER AND IN LAUNDRY ROOMS.
- CONSULT THE CERTIFIED ENGINEER'S DRAWINGS FOR BEAM SIZES AND LATERAL ENGINEERING INFORMATION.
- GAS FURNACE: 95% MIN. AFUE TO BE INSTALLED IN AN INSULATED, THERMALLY CONDITIONED SPACE WITH INSULATION INSTALLED IN WALL CAVITIES OF CLOSET.
- ALL HVAC DUCTING TO BE INSTALLED IN AN INSULATED, CONDITIONED SPACE.
- ALL EXTERIOR CUT SURFACES TO BE PRIMED.
- REFER TO ARBOR ROOF AND WINDOW INSTALLATION MANUALS FOR ROOFING, FLASHING, AND INSTALLATION STANDARDS.

RES CONSTRUCTION ENVELOPE STANDARDS:

(MEETS OR EXCEEDS 2011 IRC DESCRIPTIVE ENVELOPE REQUIREMENTS)

ADDITIONAL MEASURES CHOSEN:

- A WHOLE BUILDING VENTILATION SYSTEM COMPLYING WITH TABLE N1101.1.3
- NO MORE THAN 6.0 AIR CHANGES/HOUR CONSERVATION MEASURE 'A'
- HIGH EFFICIENCY HVAC: 95% MIN. AFUE FURNACE



4 CULTURED STONE VENEER FLASHING DETAIL @ STONE OPTION SCALE: 1/2" = 1'-0" FLASHING DETAIL-4

These building plans are protected by United States Federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may result in civil action or constitute a criminal offense.

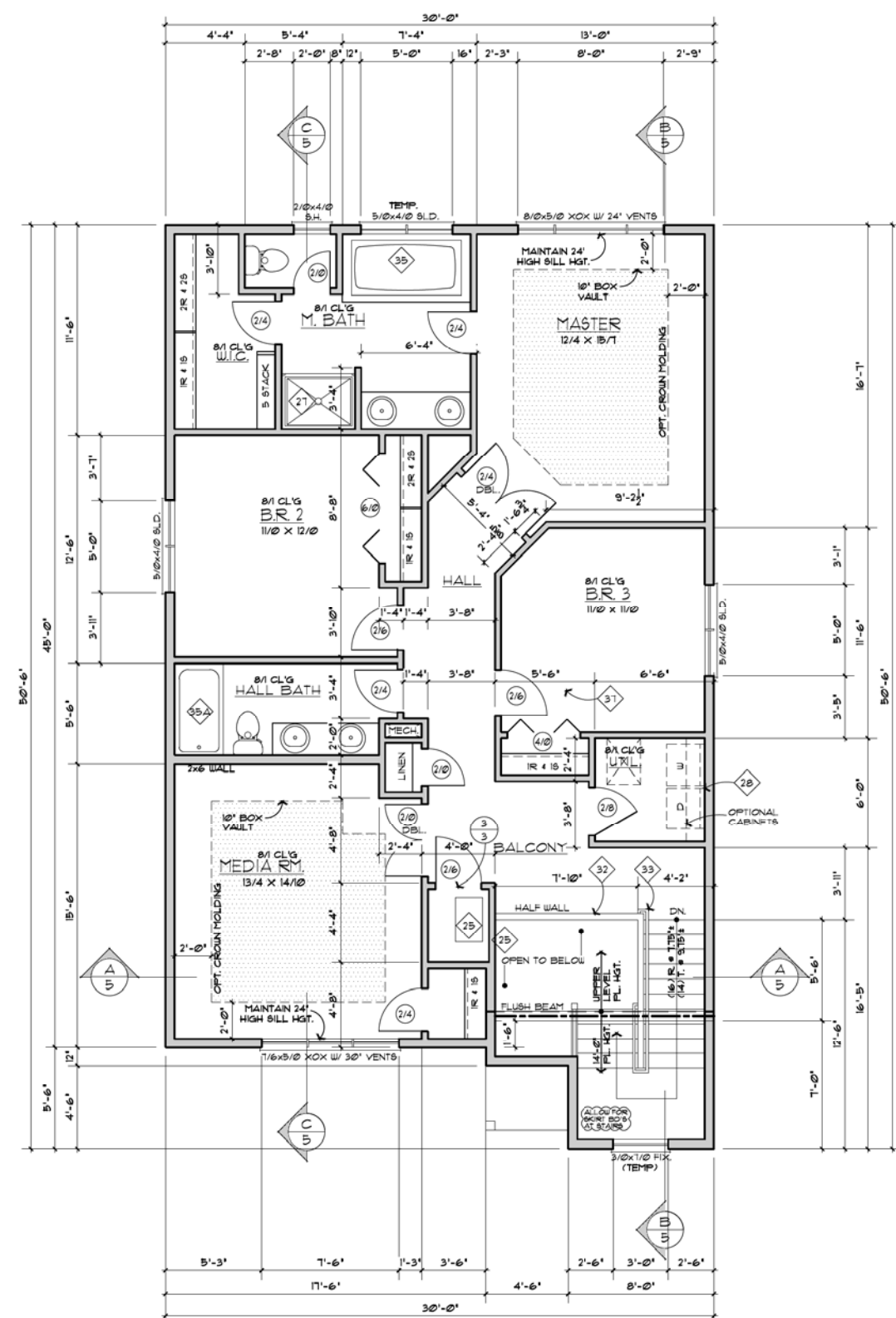
- 4/11/11 NEW PLAN PRELIM JUG
- 8/14/11 RAISON CODE UPDATES JUG
- 6/15/11 PLAN IMPLEMENTED JUG
- 8/31/11 P.C.#1 JUG
- 10/18/11 STAIR/DEPTH FIX JUG
- 10/21/11 P.C.#2 IMPLEMENTED JUG
- 11/11/11 P.P. VENT/WALL REVIS JUG
- 1/28/11 EXTENDED STONE REVIS JUG
- 1/28/11 P.C.#3 IMPLEMENTED JUG
- 1/28/11 D.M. CONVERSION JUG
- 1/16/12 P.C.#4 IMPLEMENTED JUG
- 2/21/12 LOW VOLTAGE UPDATES JUG
- 4/23/12 FURN. CLOSET FIX JUG
- 7/16/12 RADON+HVAC UPDATES JUG
- 1/8/13 P.C.#5 IMPLEMENTED JUG
- 9/17/13 2013 'A' UPDATE SHG

**PLAN 2237
ASHMONT
AMERICAN
GARAGE LEFT**

MAIN LEVEL: 886 SQ FT
UPPER LEVEL: 1341 SQ FT
GRAND TOTAL: 2233 SQ FT

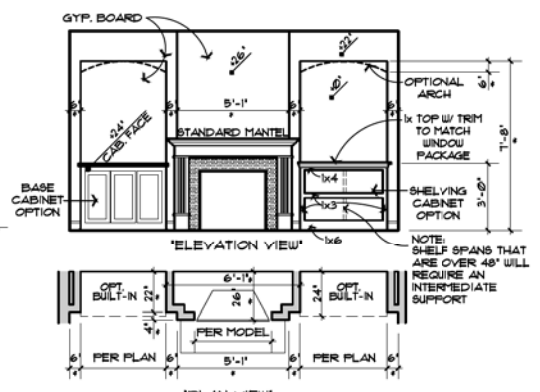
GARAGE: 363 SQ FT

3 Sheet 16

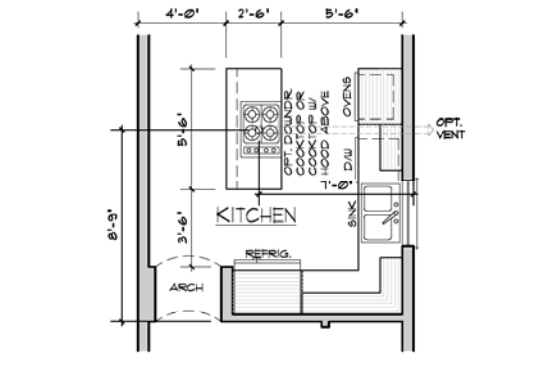


UPPER FLOOR PLAN 1/4" = 1'-0"

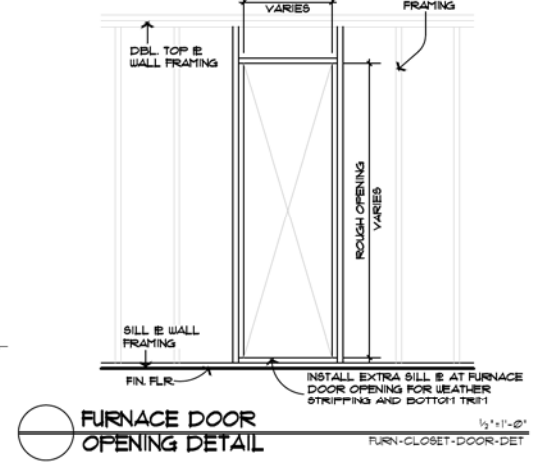
- FLOOR PLAN KEYNOTES**
- 24. MANUFACTURED DIRECT VENT, GAS, UL LISTED METAL FIREPLACE. INSTALL ACCORDING TO MANUFACTURER'S SPECIFICATIONS. INSTALL 18" WIDE FLUSH HEARTH AS SHOWN.
 - 25. INSTALL MINIMUM 87% (AFUE) EFFICIENT GAS FURNACE. FURNACE SHALL BE A SEALED COMBUSTION AIR TYPE. COMBUSTION AIR SHALL BE DUCTED DIRECTLY FROM THE OUTDOORS. INSULATE SURROUNDING WALLS.
 - 26. GAS WATER HEATER. ELEVATE FLAME 18" (MINIMUM) ABOVE SLAB. PROVIDE R-4 INSULATION AROUND WATER PIPES IN UNHEATED SPACES.
 - 27. INSTALL TEMPERED GLASS DOOR AT 36" X 48" FIBERGLASS SHOWER.
 - 28. INSTALL RECESSED WASHER/DRYER HOOKUP.
 - 29. PROVIDE MINIMUM 18" X 24" CRAWL SPACE ACCESS.
 - 30. NOT USED.
 - 31. APPLY 1/2" GYPSUM BOARD TO ALL WALLS AND 5/8" TYPE 'X' TO CEILING IN GARAGE. FINISH GARAGE WALLS AND CEILING.
 - 32. 42" HIGH HALF WALL W/ WOOD CAP. BLOCK ALL PANEL EDGES OF PLYWOOD.
 - 33. 34" HIGH CONTINUOUS TRADITIONAL HANDRAIL MOUNTED ON BRASS PLATED RAIL BRACKETS ON WALL. RETURN ENDS TO WALL OR NEEL POST.
 - 34. APPLY 1/2" GYPSUM BOARD TO WALLS AND CEILING UNDER STAIRS.
 - 35. 36" X 12" TUB IN TILE COVERED PLATFORM. VERIFY HEIGHT OF PLATFORM WITH TUB MANUFACTURER PRIOR TO CONSTRUCTION. VERIFY WINDOW HEIGHT BEFORE ORDERING WINDOWS. PROVIDE TEMPERED GLASS IN WINDOW AT TUB AND SHOWER AREA.
 - 35A. 32" X 60" FIBERGLASS TUB WITH SHOWER.
 - 36. ADJUST HEIGHT OF WINDOW ROUGH OPENINGS WITH DOOR ROUGH OPENINGS SO THAT CASING AT WINDOW HEAD WILL ALIGN WITH CASING AT DOOR HEAD.
 - 37. PROVIDE 22X30" INSULATED ATTIC ACCESS.



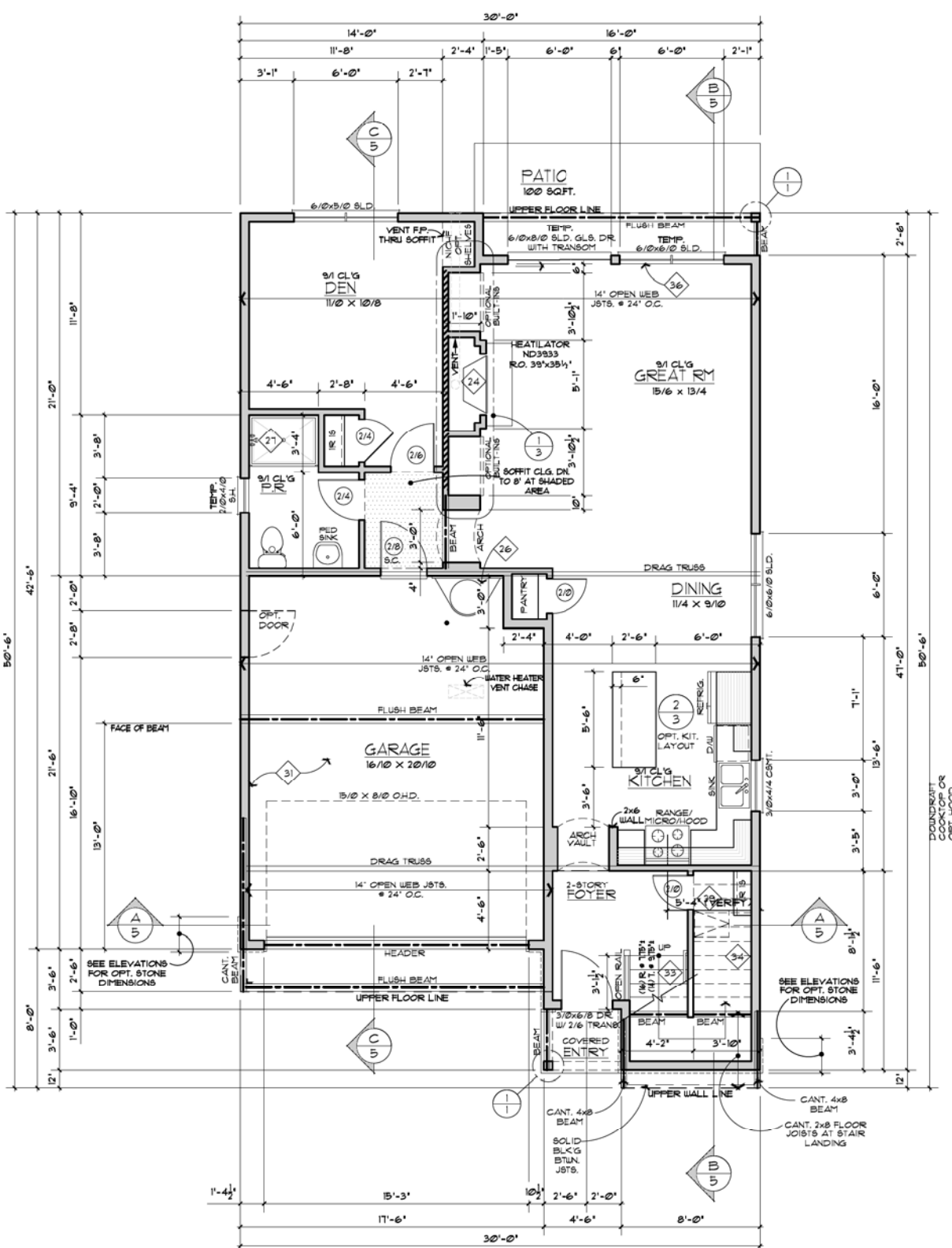
OPTIONAL SHELVING OR BASE CABINET DET. AT GREAT RM. 1/4" = 1'-0"



OPTIONAL KITCHEN LAYOUT 1/4" = 1'-0"



FURNACE DOOR OPENING DETAIL 1/4" = 1'-0"



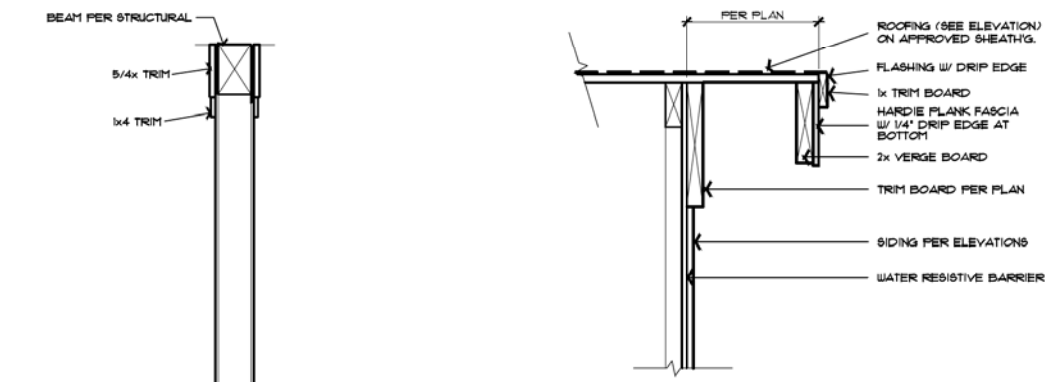
MAIN FLOOR PLAN 1/4" = 1'-0"

- FLOOR PLAN NOTES:**
- 1. FLOOR PLAN INDICATES INTERIOR BEARING WALLS.
 - 2. PROVIDE ALL BEARING MINIM. AT BEAM SUPPORTS (UNLESS NOTED OTHERWISE).
 - 3. PROVIDE AT ALL EXTERIOR DOOR AND WINDOW HEADERS (PER STRUCTURAL) WOODEN TOP PLATES AND BLOCKING AT BOTTOM (UNLESS NOTED OTHERWISE). INSTALL RIGID INSULATION IN GAVITY.
 - 4. PROVIDE 2x6 STUDS AT 16" O.C. WITH R-3 BATT INSULATION AT ALL EXTERIOR WALLS AND DOORS AT EXTERIOR GARAGE WALLS UNLESS NOTED OTHERWISE.
 - 5. PROVIDE 2x4 STUDS AT 16" O.C. AT ALL INTERIOR WALLS UNLESS NOTED OTHERWISE.
 - 6. ALL EXTERIOR DOORS TO BE INSTALLED WITH FINISH CASING.
 - 7. APPLY ACOUSTIC SEALANT AT THE TOP & BOTTOM OF ALL WALLS.
 - 8. ALL EXTERIOR DOORS TO BE INSTALLED WITH FINISH CASING.
 - 9. MAINTAIN MINIMUM OF 36" CLEARANCE BETWEEN VENTS AND WINDOW OPENINGS.

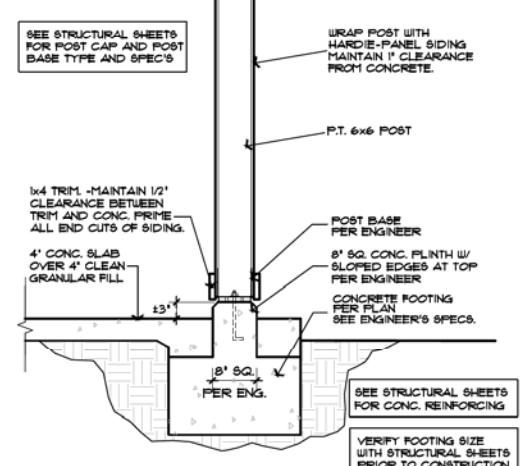
NOTE:
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States Copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may result in civil action or constitute a criminal offense.

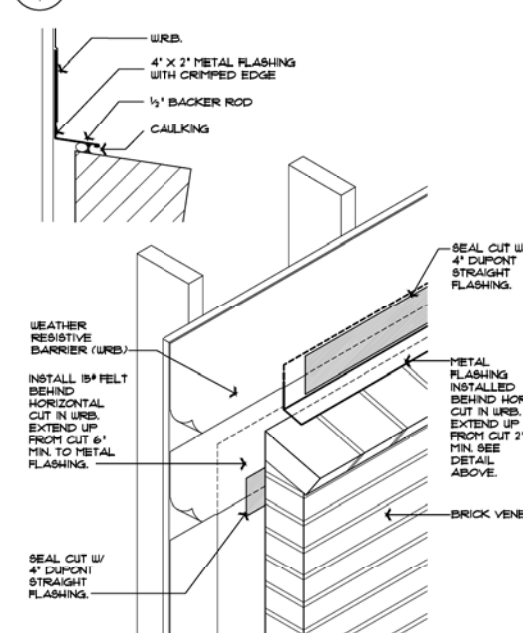
4/11/11 NEW PLAN PRELIM JUG
5/5/11 APPLIED ENGINEERING JUG
6/15/11 RADON UPDATE JUG
6/15/11 PLAN IMPLEMENTED JUG
8/3/11 P.C. #1 JUG
10/18/11 STAIR/DEPTH FIX JUG
10/21/11 P.C. #2 IMPLEMENTED JUG
11/4/11 FF VENT/STAIR REVIS JUG
11/22/11 FINISH SIDING REVIS JUG
12/16/11 EXTENDED BRICK-STONE JUG
1/28/11 P.C. #3 IMPLEMENTED JUG
1/28/11 D.M. CONVERSION JUG
1/16/12 P.C.#4 IMPLEMENTED JUG
2/15/12 LOW VOLTAGE UPDATES JUG
4/24/12 RUM. CLOSET FIX JUG
5/15/12 GABLE WINDOW FIX JUG
12/16/12 RADON/HVAC UPDATES JUG
1/18/13 P.C.#5 IMPLEMENTED JUG
3/28/13 2013 'A' UPDATE SHG
10/15/14 2014 DECO SPEC UPDT. DDR



2 VERGE/RAKE DETAIL SCALE: NTS 1/4\"/>



1 COLUMN DETAIL SCALE: 1/4\"/>



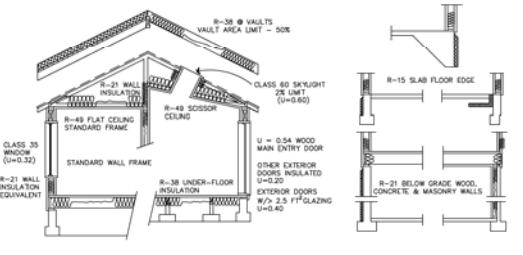
3 BRICK VENEER FLASHING DETAIL SCALE: 1/2\"/>

GENERAL NOTES AND SPECIFICATIONS

- CONSTRUCTION SHALL FULLY COMPLY WITH THE CURRENT OREGON EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS (2011 EDITION W/ 2014 AMENDMENTS OF THE ORSC).
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PLEASE NOTIFY THE ARCHITECTURAL TEAM OF ANY VARIATIONS FROM THESE DRAWINGS.
- ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTURAL TEAM BEFORE PROCEEDING WITH WORK. THESE DOCUMENTS ARE COPYRIGHT PROTECTED AND MAY NOT BE REUSED, REDRAWN, TRACED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM WEST HILLS DEVELOPMENT.
- INSTALL APPROVED FOAM TYPE INSULATION AT FLOOR AND PLATE LINES. OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
- INSTALL WATERPROOF GYPSUM BOARD IN AND ABOVE ALL SHOWER AND TUB AREAS TO MINIMUM 12\"/>

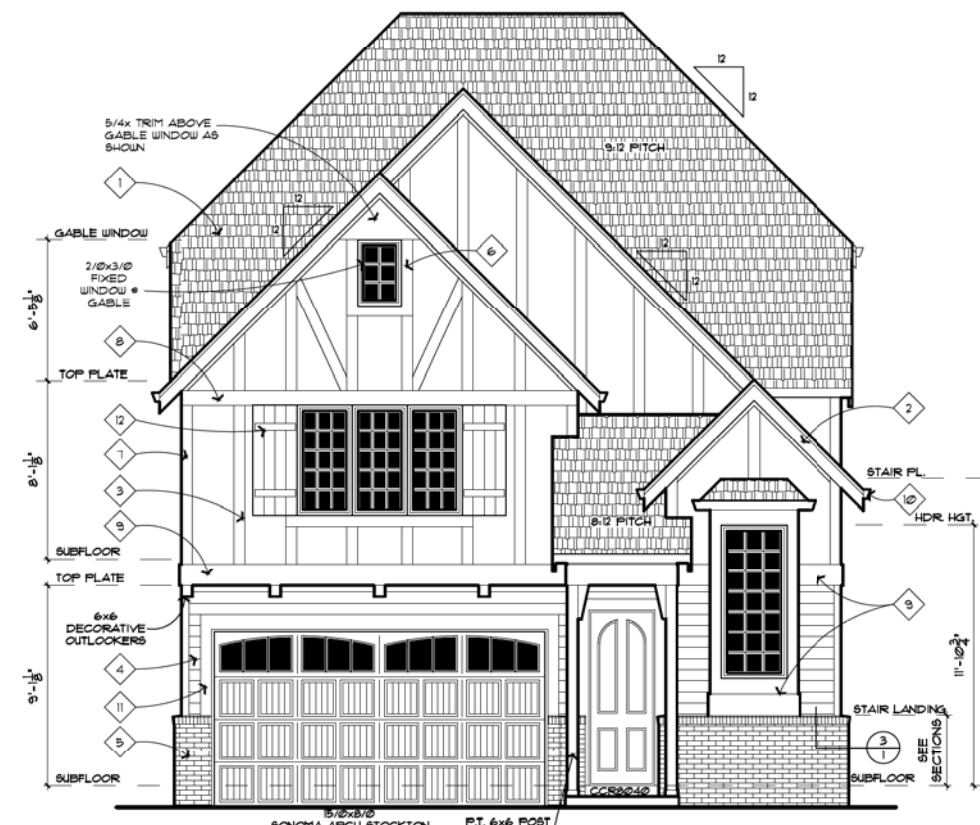
RES CONSTRUCTION ENVELOPE STANDARDS:
(MEETS OR EXCEEDS THE 2011 EDITION W/ 2014 AMENDMENTS OF THE ORSC PRESCRIPTIVE ENVELOPE REQUIREMENTS)

- ADDITIONAL MEASURES CHOSEN:
- A WHOLE BUILDING VENTILATION SYSTEM COMPLYING WITH TABLE N10L1(3)
- TESTED WITH A BLOWER DOOR AND FOUND TO EXHIBIT NO MORE THAN:
 - 6.0 AIR CHANGES/HOUR AND
 - PERFORMANCE TESTED DUCT SYSTEMS
- CONSERVATION MEASURE 'A':
 - HIGH EFFICIENCY HVAC SYSTEM, 90% MIN. AFUE FURNACE

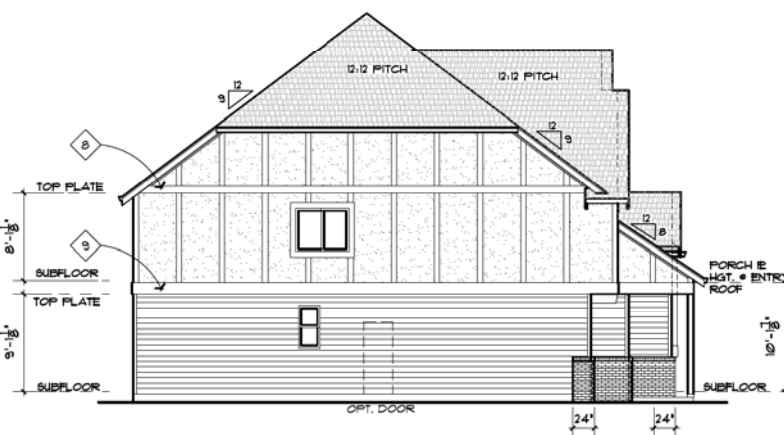


ELEVATION KEYNOTES

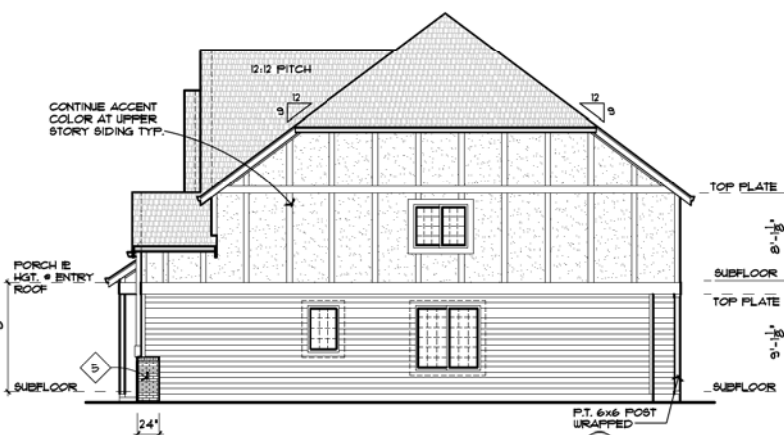
- ROOFING (TYPICAL): 30 TEAR HEAVY WEIGHT FIBERGLASS COMPOSITION ROOFING.
- VERGE BOARD TYPICAL: 1/2 TRIM ON 2x8 VERGE BOARD. PROVIDE 5/4x8 (#9 SHINGLES AND LAP SIDING) OR 1/2 (#8 PANEL SIDING) TRIM BOARD FLAT ON WALL AND BUTT TO UNDERSIDE OF ROOF SHEATHING FOLLOWING GABLE END VERGE BOARD.
- SIDING (WHERE SHOWN): HARDIE PANEL, STUCCO BRD, SIDING W/ 1/2 BATTENS SPACED AS SHOWN AT FRONT ELEVATION 4 AT 48\"/>



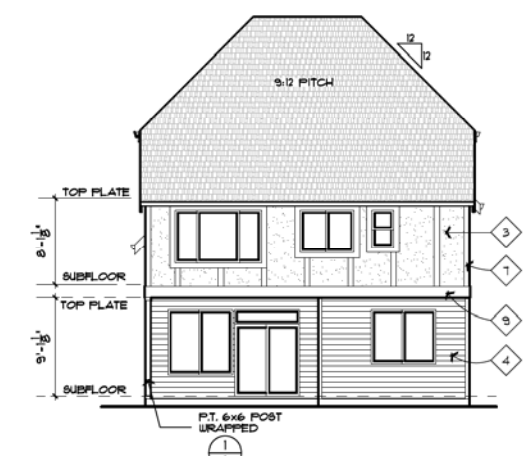
FRONT ELEVATION ENGLISH 1/4\"/>



LEFT ELEVATION 1/8\"/>



RIGHT ELEVATION 1/8\"/>



REAR ELEVATION 1/8\"/>

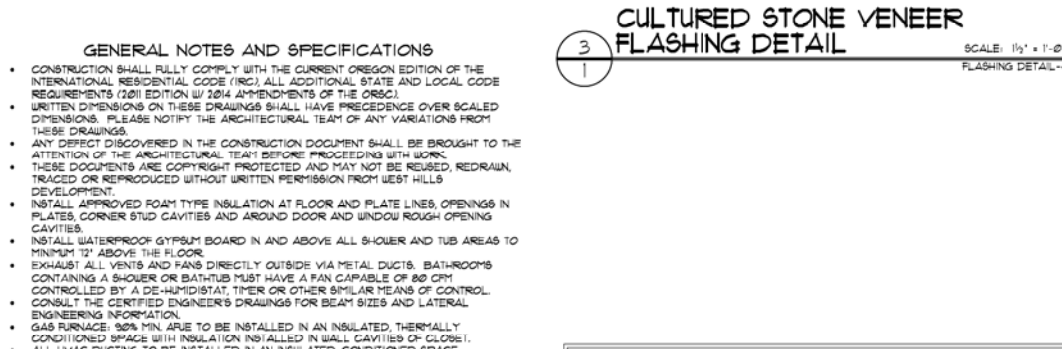
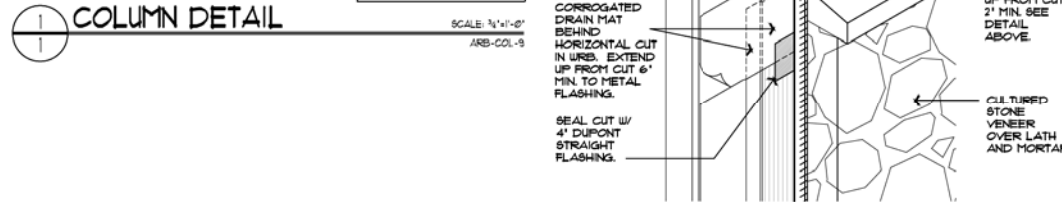
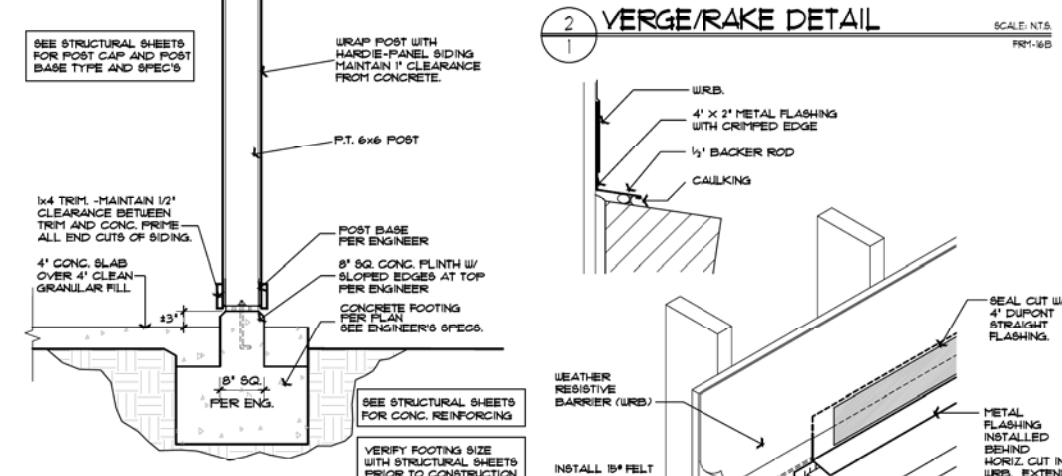
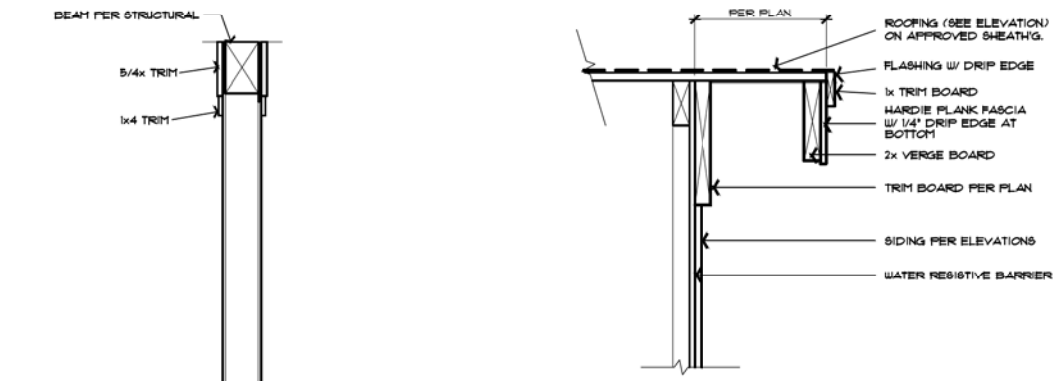
NOTE :
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

**PLAN 2237
ASHMONT EURO
ENGLISH
GARAGE LEFT**

MAIN LEVEL: 886 SQ FT
UPPER LEVEL: 1345 SQ FT
GRAND TOTAL: 2231 SQ FT
GARAGE: 363 SQ FT

These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may result in civil action or constitute a criminal offense.

4/1/11 NEW PLAN PRELIM JGG
5/5/11 APPLIED ENGINEERING JGG
6/15/11 RADON UPDATE JGG
6/15/11 PLAN IMPLEMENTED JGG
8/3/11 P.C. #1 JGG
10/18/11 STAIR/DEPTH FIX JGG
10/21/11 P.C. #2 IMPLEMENTED JGG
11/4/11 FF VENT/WALL REVIS JGG
11/22/11 FRENCH SIDING REVIS JGG
12/16/11 EXTENDED BRICK-STONE JGG
1/28/11 P.C. #3 IMPLEMENTED JGG
1/28/11 D.M. CONVERSION JGG
1/16/12 P.C. #4 IMPLEMENTED JGG
2/21/12 LOW VOLTAGE UPDATES JGG
4/24/12 RUM. CLOSET FIX JGG
5/15/12 GABLE WINDOW FIX JGG
12/6/12 RADON/HVAC UPDATES JGG
1/8/13 P.C. #5 IMPLEMENTED JGG
3/28/13 2013 'A' UPDATE SHG
10/15/14 2014 DECO SPEC UPDT. DDR



GENERAL NOTES AND SPECIFICATIONS

- CONSTRUCTION SHALL FULLY COMPLY WITH THE CURRENT OREGON EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS (2011 EDITION W/ 2014 AMENDMENTS OF THE ORSC).
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCHEDULE DIMENSIONS. PLEASE NOTIFY THE ARCHITECTURAL TEAM IF YOU PROCEEDING WITH WORK.
- ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTURAL TEAM BEFORE PROCEEDING WITH WORK.
- THESE DOCUMENTS ARE COPYRIGHT PROTECTED AND MAY NOT BE REUSED, REDRAWN, TRACED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM WEST HILLS DEVELOPMENT.
- INSTALL APPROVED ROAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
- INSTALL WATERPROOF GYPSUM BOARD IN AND ABOVE ALL SHOWER AND TUB AREAS TO MINIMUM 12" ABOVE THE FLOOR.
- EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS. BATHROOMS CONTAINING A SHOWER OR BATHTUB MUST HAVE A FAN CAPABLE OF 80 CFM CONTROLLED BY A DE-HUMIDISTAT, THERM OR OTHER SIMILAR MEANS OF CONTROL. CONSULT THE CERTIFIED ENGINEER'S DRAWINGS FOR BEAM SIZES AND LATERAL ENGINEERING INFORMATION.
- GAS FURNACE, 90% MIN. AFUE TO BE INSTALLED IN AN INSULATED, THERMALLY CONDITIONED SPACE WITH INSULATION INSTALLED IN WALL CAVITIES OF CLOSET.
- ALL HVAC DUCTING TO BE INSTALLED IN AN INSULATED, CONDITIONED SPACE.
- ALL EXTERIOR CUT SURFACES TO BE PRIMED.
- REFER TO ARBOR ROOF AND WINDOW INSTALLATION MANUALS FOR ROOFING, FLASHING, AND INSTALLATION STANDARDS.

RES CONSTRUCTION ENVELOPE STANDARDS:
(MEETS OR EXCEEDS THE 2011 EDITION W/ 2014 AMENDMENTS OF THE ORSC PRESCRIPTIVE ENVELOPE REQUIREMENTS)

ADDITIONAL MEASURES CHOSEN:

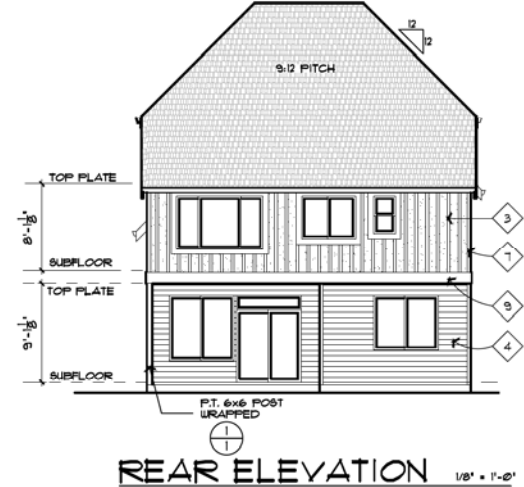
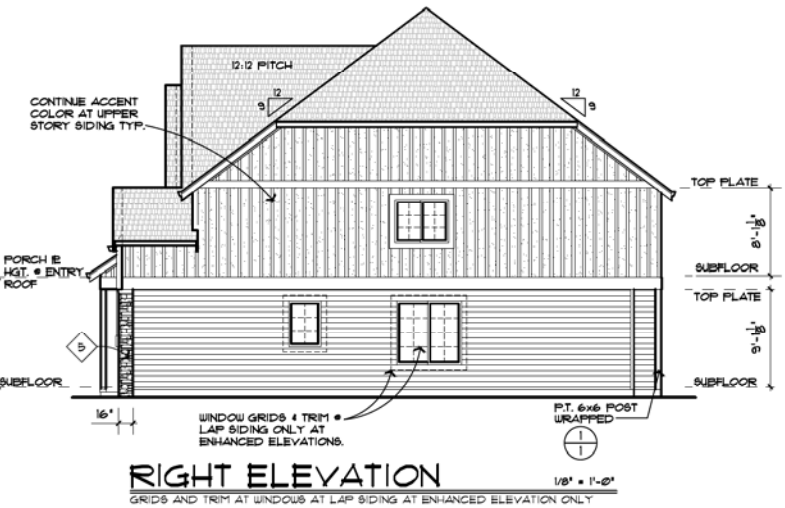
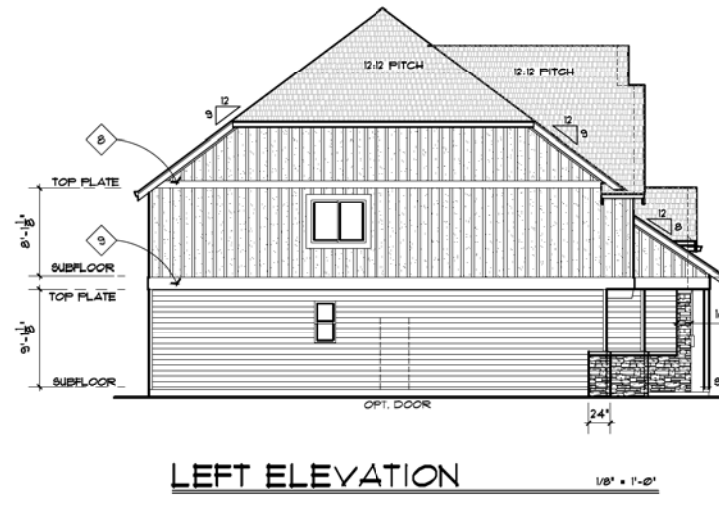
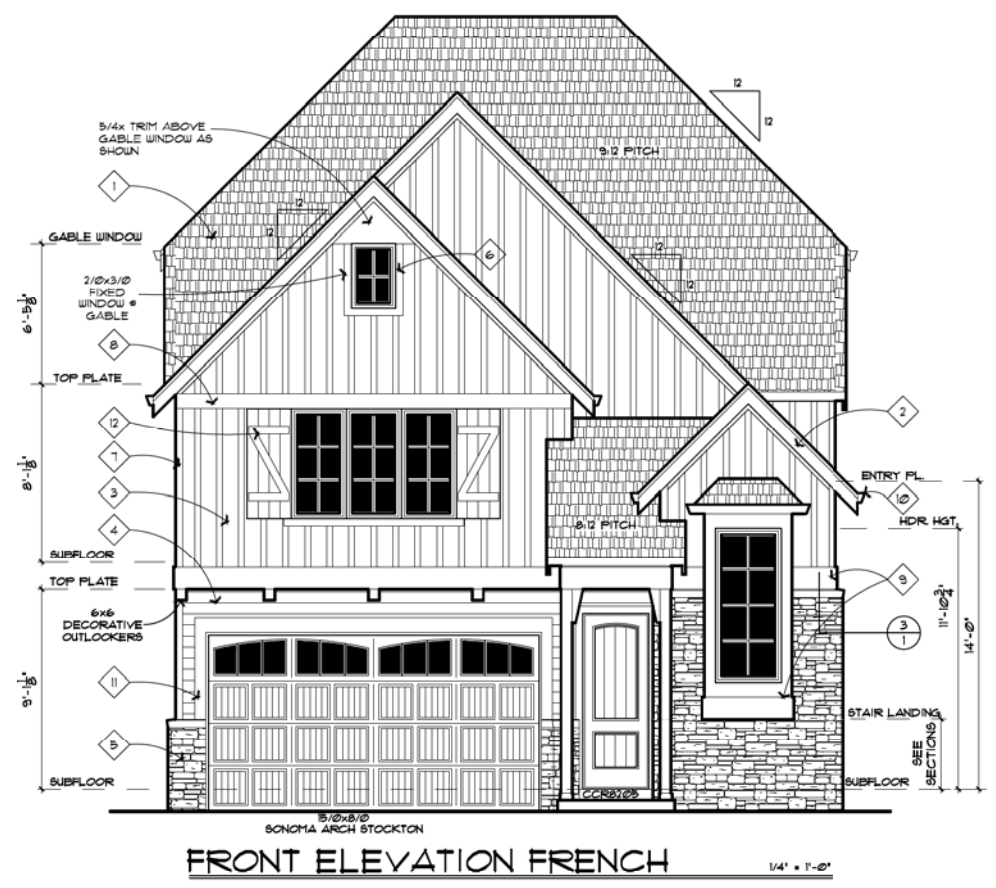
- A WHOLE BUILDING VENTILATION SYSTEM COMPLYING WITH TABLE N1101(3)
- TESTED WITH A BLOWER DOOR AND FOUND TO EXHIBIT NO MORE THAN:
1. 6.0 AIR CHANGES/HOUR AND
2. PERFORMANCE TESTED DUCT SYSTEMS

CONSERVATION MEASURE 'A':

- HIGH EFFICIENCY HVAC SYSTEM: 90% MIN. AFUE FURNACE

R-38 8 VAULTS UNLT AREA UNLT - 10K
CLASS 50 SPLYGHT & UNLT (0-250)
R-49 SCISSOR CEILING
U = 0.54 WOOD MAIN ENTRY DOOR
OTHER EXTERIOR DOORS INSULATED UNLT
EXTERIOR DOORS 4" x 3.5 FT GLAZING UNLT
R-21 WALL INSULATION EQUIVALENT
STANDARD WALL FRAME
R-38 UNDER-FLOOR INSULATION
R-15 SLAB FLOOR EDGE
R-21 BELOW GRADE WOOD CONCRETE & MASONRY WALLS

- ELEVATION KEYNOTES**
- ROOFING (TYPICAL): 30 YEAR HEAVY WEIGHT FIBERGLASS COMPOSITION ROOFING.
 - VERGE BOARD TYPICAL: 1/2" x 2" TRIM ON 2x8 VERGE BOARD. PROVIDE 5/4x8 (# SHINGLES AND LAP SIDING) OR 1x8 (# PANEL SIDING) TRIM BOARD FLAT ON WALL, AND BUTT TO UNDERSIDE OF ROOF SHEATHING FOLLOWING GABLE END VERGE BOARD.
 - SIDING (TYPICAL): HARDIE PANEL STUCCO BRD. SIDING W/ 1 x 3 BATTENS AT 12" O.C.
 - SIDING (TYPICAL WHERE SHOWN): HARDIE PLANK LAP SIDING.
 - CULTURED STONE (AS SHOWN): 8" GALL STONE AT TOP OF VENEER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 - WINDOW TRIM: 5/4 x 4 AROUND ALL WINDOWS AND DOORS AT FRONT AND ALL WINDOWS AT PANEL AND BATTEN SIDING. NO WINDOW TRIM AT LAP SIDING UNLESS AT ENHANCED ELEVATIONS. FLASH ABOVE ALL HORIZONTAL TRIM.
 - 5/4 x 4 CORNER TRIM AT LAP SIDING, 1 x 4 CORNER TRIM AT PANEL SIDING.
 - HORIZONTAL TRIM: 5/4 x 8 W/ 26 GA. 'Z' FLASHING OVER TOP AND INTEGRATED W/ WRB.
 - HORIZONTAL TRIM: 5/4 x 12 W/ 26 GA. 'Z' FLASHING OVER TOP AND INTEGRATED W/ WRB.
 - GUTTERS (TYP-UNO): 6" FASCIA STYLE, 26 GA. STEEL GUTTER WITH 2"x3" STEEL DOWNSPOUTS. ALL GUTTERS TO BE SPIKED A MIN. OF 24" O.C. ALL JOINTS TO BE SCREWED AND SEALED WITH 'ALOCO' GUTTER SEAL OR EQUIV. CONNECT ALL DOWNSPOUTS TO RAIN DRAINS WHERE PROVIDED.
 - GARAGE DOOR TRIM SURROUND: 5/4 x 8" AT TOP, 5/4 x 4" AT SIDES
 - SHUTTERS (TYPICAL): 24" WIDE AS SHOWN, MATCH WINDOW HEIGHT



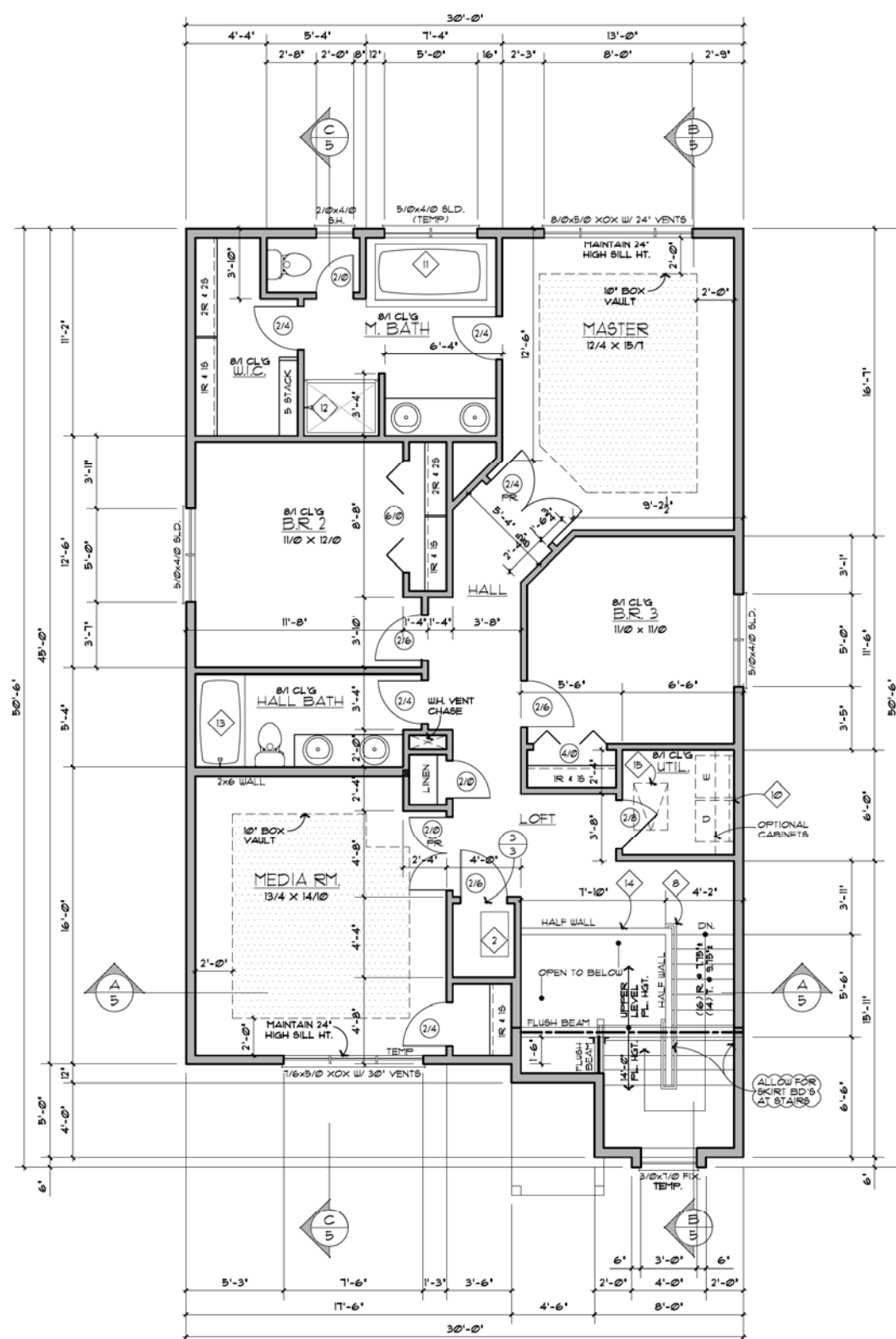
NOTE :
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

**PLAN 2237
ASHMONT EURO
FRENCH
GARAGE LEFT**

MAIN LEVEL:	806 SQ FT
UPPER LEVEL:	1345 SQ FT
GRAND TOTAL:	2231 SQ FT
GARAGE:	363 SQ FT

These building plans are protected by United States Federal and State copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States Copyright Act and Federal and State copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting the rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may result in civil action or constitute a criminal offense.

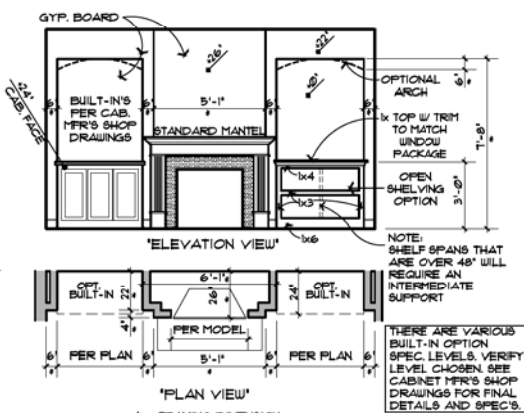
4/1/11 NEW PLAN PRELIM JUG
5/5/11 APPLIED ENGINEERING JUG
6/15/11 RADON UPDATE JUG
6/15/11 PLAN IMPLEMENTED JUG
8/3/11 P.C. #1 JUG
10/18/11 STAIR/DEPTH FIX JUG
10/21/11 P.C. #2 IMPLEMENTED JUG
11/4/11 FF VENT/WALL REVIS JUG
11/22/11 FRENCH SIDING REVIS JUG
12/16/11 EXTENDED BRICKSTONE JUG
1/28/11 P.C. #3 IMPLEMENTED JUG
1/28/11 D.M. CONVERSION JUG
1/16/12 P.C. #4 IMPLEMENTED JUG
2/2/12 LOW VOLTAGE UPDATES JUG
4/24/12 RUM CLOSET FIX JUG
5/15/12 GABLE WINDOW FIX JUG
12/6/12 RADON/HVAC UPDATES JUG
1/8/13 P.C. #5 IMPLEMENTED JUG
3/20/13 2013 'A' UPDATE SHG
10/15/14 2014 DECO SPEC UPDT. DDR



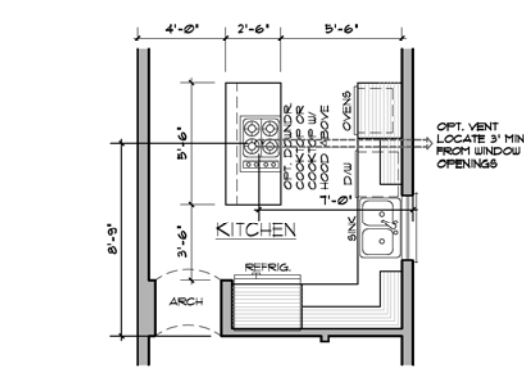
UPPER FLOOR PLAN 1/4" = 1'-0"

FLOOR PLAN NOTES:

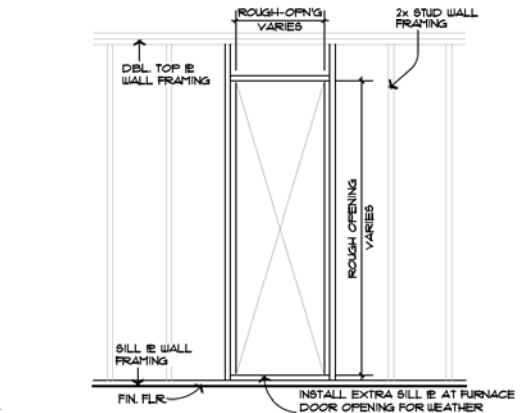
- 1. MANUFACTURED DIRECT VENT, GAS, UL LISTED METAL FIREPLACE. INSTALL ACCORDING TO MANUFACTURER'S SPECIFICATIONS. INSTALL 18" WIDE HEARTH AS SHOWN.
- 2. INSTALL MINIMUM 92% (AFUE) EFFICIENT GAS FURNACE. ELEVATE FLAME 18" MIN. ABOVE FLOOR. INSTALL IN AN INSULATED, THERMALLY CONDITIONED SPACE.
- 3. GAS WATER HEATER - SEALED UNIT SET ON FLOOR W/ BRACING STRAPS PER DET. PROVIDE R-4 INSULATION AROUND WATER PIPES IN UNHEATED SPACES.
- 4. ADJUST HEIGHT OF WINDOW ROUGH OPENINGS WITH DOOR ROUGH OPENINGS SO THAT CASING AT WINDOW HEAD WILL ALIGN WITH CASING AT DOOR HEAD.
- 5. PROVIDE MINIMUM 18"x24" CRAWL SPACE ACCESS WITH AIR-TIGHT GASKET.
- 6. APPLY 1/2" GYPSUM BOARD TO ALL GARAGE WALLS AND 5/8" TYPE 'X' GYP. BOARD TO CEILING IN GARAGE BENEATH HABITABLE ROOMS, WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYP. BD.
- 7. 36" HIGH CONTINUOUS TRADITIONAL GUARDRAIL ON OPEN SIDE OF STAIR. RETURN ENDS TO WALL OR NEWEL POST. INSTALL EQUALLY SPACED BALUSTERS (4" O.C. MAX.) ON CURB WALL EXTENDING 3" ABOVE STAIR NOSING.
- 8. 34" HIGH CONTINUOUS TRADITIONAL HANDRAIL MOUNTED ON BRASS PLATED RAIL BRACKETS ON WALL. RETURN ENDS TO WALL OR NEWEL POST.
- 9. APPLY 1/2" GYPSUM BOARD TO WALLS AND CEILING UNDER STAIRS.
- 10. INSTALL RECESSED WASHER/DRYER HOOKUP.
- 11. 36"x12" TUB IN TILE COVERED PLATFORM. VERIFY HEIGHT OF PLATFORM WITH TUB MANUFACTURER PRIOR TO CONSTRUCTION. VERIFY WINDOW HEIGHT BEFORE ORDERING WINDOWS. PROVIDE TEMPERED GLASS IN WINDOWS AT TUB AND SHOWER AREA.
- 12. INSTALL TEMPERED GLASS DOOR AND PARTITION AT 36"x48" FIBERGLASS SHOWER.
- 13. 32"x60" FIBERGLASS TUB WITH SHOWER.
- 14. 42" HIGH HALF WALL W/ WOOD CAP. BLOCK ALL PANEL EDGES OF PLYWOOD.
- 15. PROVIDE MINIMUM 22"x36" ATTIC ACCESS W/ INSULATED 'LID'. PROVIDE INSULATION Baffle AROUND OPENING.



OPTIONAL SHELVING OR BASE CABINET DET. AT GREAT RM.



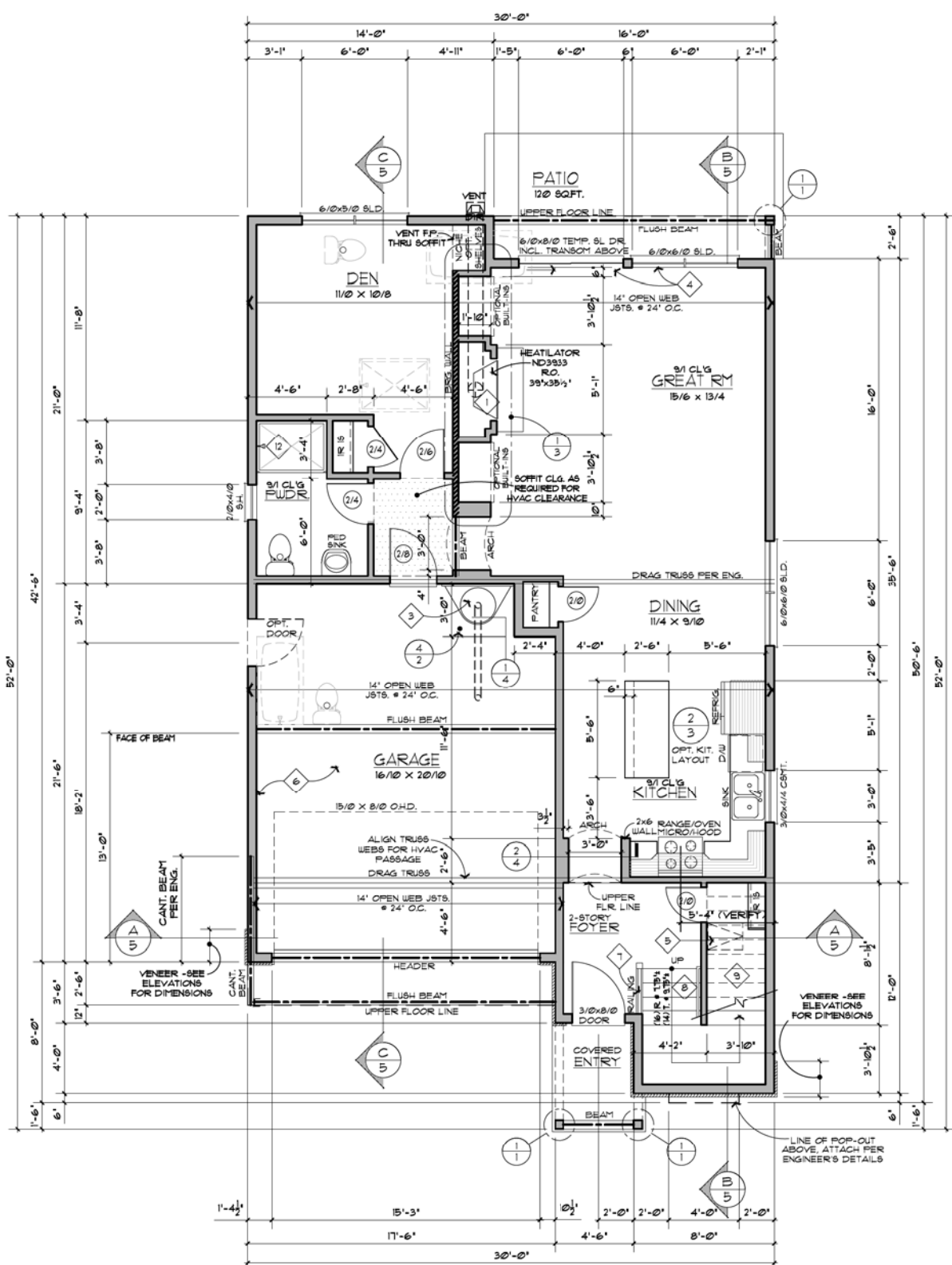
OPTIONAL KITCHEN LAYOUT



FURNACE DOOR OPENING DETAIL

FLOOR PLAN KEYNOTES

1. MANUFACTURED DIRECT VENT, GAS, UL LISTED METAL FIREPLACE. INSTALL ACCORDING TO MANUFACTURER'S SPECIFICATIONS. INSTALL 18" WIDE HEARTH AS SHOWN.
2. INSTALL MINIMUM 92% (AFUE) EFFICIENT GAS FURNACE. ELEVATE FLAME 18" MIN. ABOVE FLOOR. INSTALL IN AN INSULATED, THERMALLY CONDITIONED SPACE.
3. GAS WATER HEATER - SEALED UNIT SET ON FLOOR W/ BRACING STRAPS PER DET. PROVIDE R-4 INSULATION AROUND WATER PIPES IN UNHEATED SPACES.
4. ADJUST HEIGHT OF WINDOW ROUGH OPENINGS WITH DOOR ROUGH OPENINGS SO THAT CASING AT WINDOW HEAD WILL ALIGN WITH CASING AT DOOR HEAD.
5. PROVIDE MINIMUM 18"x24" CRAWL SPACE ACCESS WITH AIR-TIGHT GASKET.
6. APPLY 1/2" GYPSUM BOARD TO ALL GARAGE WALLS AND 5/8" TYPE 'X' GYP. BOARD TO CEILING IN GARAGE BENEATH HABITABLE ROOMS, WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYP. BD.
7. 36" HIGH CONTINUOUS TRADITIONAL GUARDRAIL ON OPEN SIDE OF STAIR. RETURN ENDS TO WALL OR NEWEL POST. INSTALL EQUALLY SPACED BALUSTERS (4" O.C. MAX.) ON CURB WALL EXTENDING 3" ABOVE STAIR NOSING.
8. 34" HIGH CONTINUOUS TRADITIONAL HANDRAIL MOUNTED ON BRASS PLATED RAIL BRACKETS ON WALL. RETURN ENDS TO WALL OR NEWEL POST.
9. APPLY 1/2" GYPSUM BOARD TO WALLS AND CEILING UNDER STAIRS.
10. INSTALL RECESSED WASHER/DRYER HOOKUP.
11. 36"x12" TUB IN TILE COVERED PLATFORM. VERIFY HEIGHT OF PLATFORM WITH TUB MANUFACTURER PRIOR TO CONSTRUCTION. VERIFY WINDOW HEIGHT BEFORE ORDERING WINDOWS. PROVIDE TEMPERED GLASS IN WINDOWS AT TUB AND SHOWER AREA.
12. INSTALL TEMPERED GLASS DOOR AND PARTITION AT 36"x48" FIBERGLASS SHOWER.
13. 32"x60" FIBERGLASS TUB WITH SHOWER.
14. 42" HIGH HALF WALL W/ WOOD CAP. BLOCK ALL PANEL EDGES OF PLYWOOD.
15. PROVIDE MINIMUM 22"x36" ATTIC ACCESS W/ INSULATED 'LID'. PROVIDE INSULATION Baffle AROUND OPENING.



MAIN FLOOR PLAN 1/4" = 1'-0" SHOWING UPPER FLOOR FRAMING

NOTE:
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

PLAN 2237 ASHMONT EURO

GARAGE LEFT

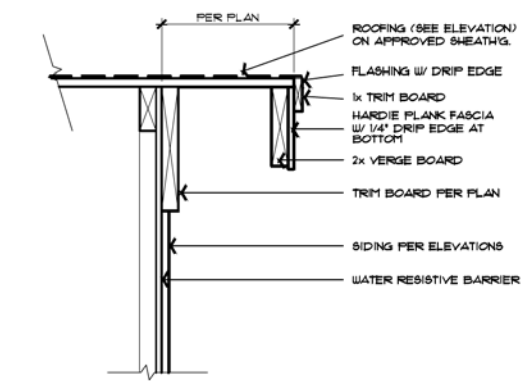
MAIN LEVEL: 886 SQ FT
UPPER LEVEL: 1345 SQ FT
GRAND TOTAL: 2231 SQ FT

GARAGE: 363 SQ FT

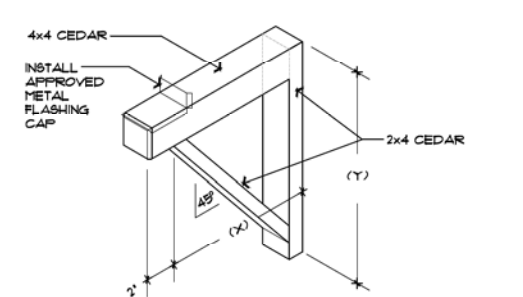
3
COTTAGES

These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting the rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may result in civil action or constitute a criminal offense.

6/10/11 4BEO PRELIM JUG
6/29/11 APPLIED ENG. JUG
7/22/11 FINAL CHECK SET JUG
8/14/11 ELEC. REVISED JUG
9/23/11 HALF WALL/RAILING REVISED JUG
1/16/12 D/I CONVERSION JUG
1/16/12 S/P CHECKSET REDLINES JUG
3/5/12 LOW-VOLT/DECO UPDATES JUG
3/15/12 P/C# IMPLEMENTED JUG
4/10/12 FURN. CLOSET FIX. JUG
4/14/12 P/C# IMPLEMENTED JUG
8/15/12 LAYERS/DECO/SALES 100 UPDT. DDR
9/17/12 AMERICAN BRACE UPDATE JUG
10/15/12 P/C# IMPLEMENTED DDR
10/15/14 2014 DECO SPEC UPDT. DDR

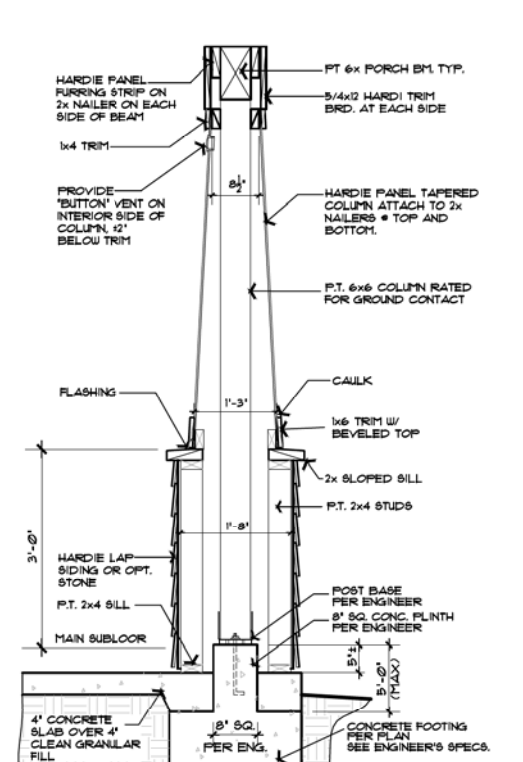


1 VERGE/RAKE DETAIL SCALE: N.T.S. FRM-16B



RAKE OH.	(X) DIM.	(Y) DIM.
12'	12'	18'
18'	18'	24'
24'	24'	30'

2 VERGE BOARD BRACE GABLE ANGLE BRACKET SCALE: NONE BRACE



3 FRONT COLUMN DETAIL SCALE: 1/4"=1'-0" ARB-COL-106B



STONE OPTION 1/4"=1'-0"



FRONT ELEVATION 1/4"=1'-0"

GENERAL NOTES AND SPECIFICATIONS

- CONSTRUCTION SHALL FULLY COMPLY WITH THE CURRENT OREGON EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS (2011 EDITION W/ 2014 AMENDMENTS) OF THE ORSC.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PLEASE NOTIFY THE ARCHITECTURAL TEAM OF ANY VARIATIONS FROM THESE DRAWINGS.
- ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTURAL TEAM BEFORE PROCEEDING WITH WORK. THESE DOCUMENTS ARE COPYRIGHT PROTECTED AND MAY NOT BE REUSED, REDRAWN, TRACED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM WEST HILLS DEVELOPMENT.
- INSTALL APPROVED FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
- INSTALL WATERPROOF GYPSUM BOARD IN AND ABOVE ALL SHOWER AND TUB AREAS TO MINIMUM 1/2" ABOVE THE FLOOR.
- EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS. BATHROOMS CONTAINING A SHOWER OR BATH TUB MUST HAVE A FAN CAPABLE OF 80 CFM CONTROLLED BY A DE-HUMIDISTAT, THERM OR OTHER SIMILAR MEANS OF CONTROL. CONSULT THE CERTIFIED ENGINEER'S DRAWINGS FOR BEAM SIZES AND LATERAL ENGINEERING INFORMATION.
- GAS FURNACE: 90% MIN. AFUE TO BE INSTALLED IN AN INSULATED, THERMALLY CONDITIONED SPACE WITH INSULATION INSTALLED IN WALL CAVITIES OR CLOSET.
- ALL HVAC DUCTING TO BE INSTALLED IN AN INSULATED, CONDITIONED SPACE.
- ALL EXTERIOR SURFACES TO BE FINISHED.
- REFER TO ARBOR ROOF AND WINDOW INSTALLATION MANUALS FOR ROOFING, FLASHING, AND INSTALLATION STANDARDS.

RES CONSTRUCTION ENVELOPE STANDARDS:
(MEETS OR EXCEEDS THE 2011 EDITION W/ 2014 AMENDMENTS OF THE ORSC PRESCRIPTIVE ENVELOPE REQUIREMENTS)

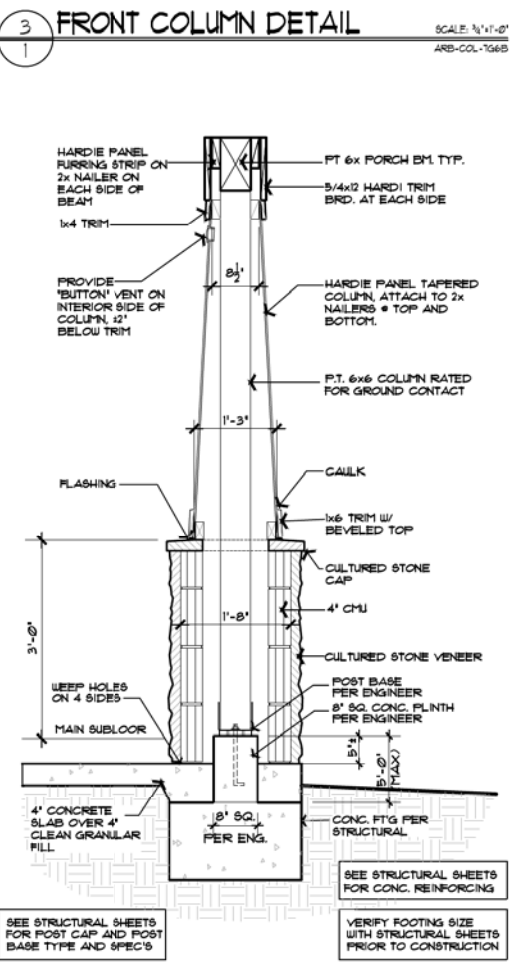
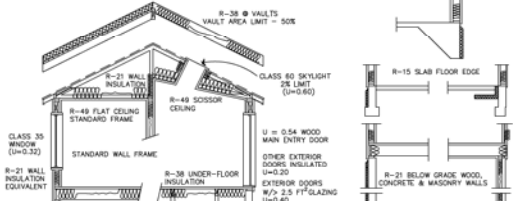
ADDITIONAL MEASURES CHOSEN:

ENVELOPE ENHANCEMENT MEASURE #5:

- A WHOLE BUILDING VENTILATION SYSTEM COMPLYING WITH TABLE N101(3)
- TESTED WITH A BLOWER DOOR AND FOUND TO EXHIBIT NO MORE THAN:
 - 6.0 AIR CHANGES/HOUR AND
 - PERFORMANCE TESTED DUCT SYSTEMS

CONSERVATION MEASURE #1:

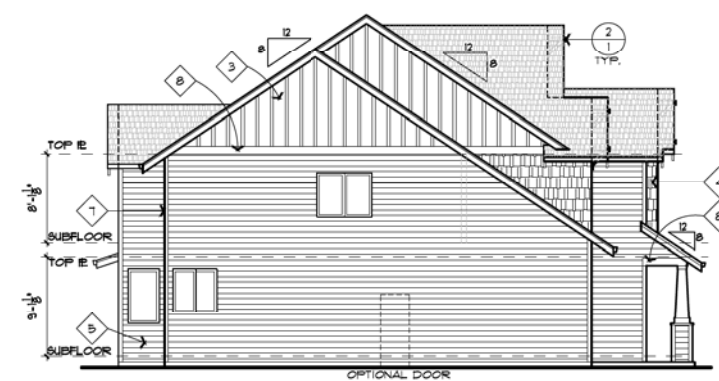
- HIGH EFFICIENCY HVAC SYSTEM: 90% MIN. AFUE FURNACE



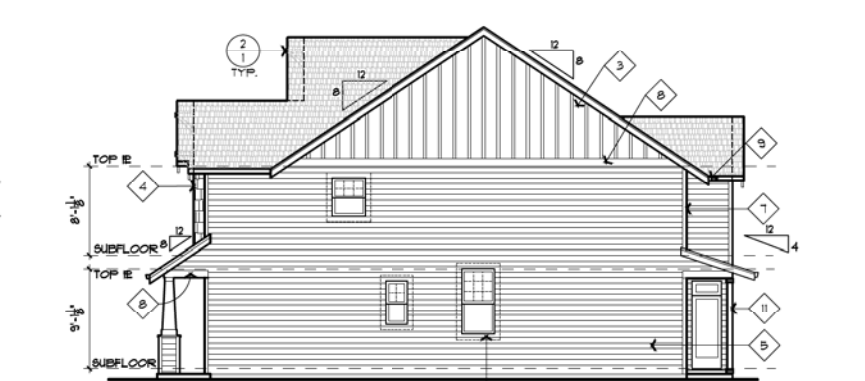
4 FRONT COLUMN DETAIL SCALE: 1/4"=1'-0" ARB-COL-106B

STONE OPTION 1/4"=1'-0"

FRONT ELEVATION 1/4"=1'-0"



LEFT SIDE ELEVATION 1/8"=1'-0"



RIGHT SIDE ELEVATION 1/8"=1'-0"

- ELEVATION KEYNOTES**
- ROOFING (TYPICAL): 30 YEAR HEAVY WEIGHT FIBERGLASS COMPOSITION ROOFING.
 - VERGE BOARD (TYP): RS 1/2 TRIM ON 2x10 VERGE (# FRONT & ENHANCED) / 2x8 (# SIDES & REAR). PROVIDE 5/4x8 (# SHINGLES AND LAP SIDING) OR 1x8 (# PANEL SIDING) TRIM BOARD FLAT ON WALL AND BUTT TO UNDERSIDE OF ROOF SHEATHING FOLLOWING GABLE END VERGE BOARD.
 - SIDING (TYPICAL): HARDIE STUCCO PANEL SIDING W/ 1 x 3 BATTENS SPACED @ 16" O.C.
 - SIDING (TYP WHERE SHOWN): HARDIE-SHINGLE SIDING (W/ METAL COR. TRIM)
 - SIDING (TYPICAL WHERE SHOWN): HARDIE-BOARD LAP SIDING.
 - WINDOW TRIM: 5/4 x 6" AROUND ALL WINDOWS AND DOORS AT FRONT AND ALL WINDOWS AT REAR AND BATTEN SIDING. NO WINDOW TRIM AT LAP SIDING UNLESS AT ENHANCED ELEVATIONS. FLASH ABOVE ALL HORIZONTAL TRIM.
 - 5/4 x 4 CORNER TRIM AT LAP SIDING, 1 x 4 CORNER TRIM AT PANEL SIDING.
 - HORIZONTAL TRIM: 5/4 x 8 W/ 26 GA. 1/2 FLASHING OVER TOP AND INTEGRATED W/ WRB.
 - GUTTERS (TYP-UNO.): 6" FASCIA STYLE, 26 GA. STEEL GUTTER WITH 2"x3" STEEL DOWNSPOUTS. ALL GUTTERS TO BE SPIKED A MIN. OF 24" O.C. ALL JOINTS TO BE SCRIBED AND SEALED WITH 1/2" GUTTER SEAL OR EQUIV. CONNECT ALL DOWNSPOUTS TO RAIN DRAINS WHERE PROVIDED.
 - GARAGE DOOR TRIM SURROUND: 5/4 x 8 AT TOP, 5/4 x 6 AT SIDES
 - EXTERIOR COLUMNS (TYPICAL): P.T. 6x6 POST - WRAPPED WITH HARDIE PANEL. -SEE DETAIL B/4.



REAR ELEVATION 1/8"=1'-0"

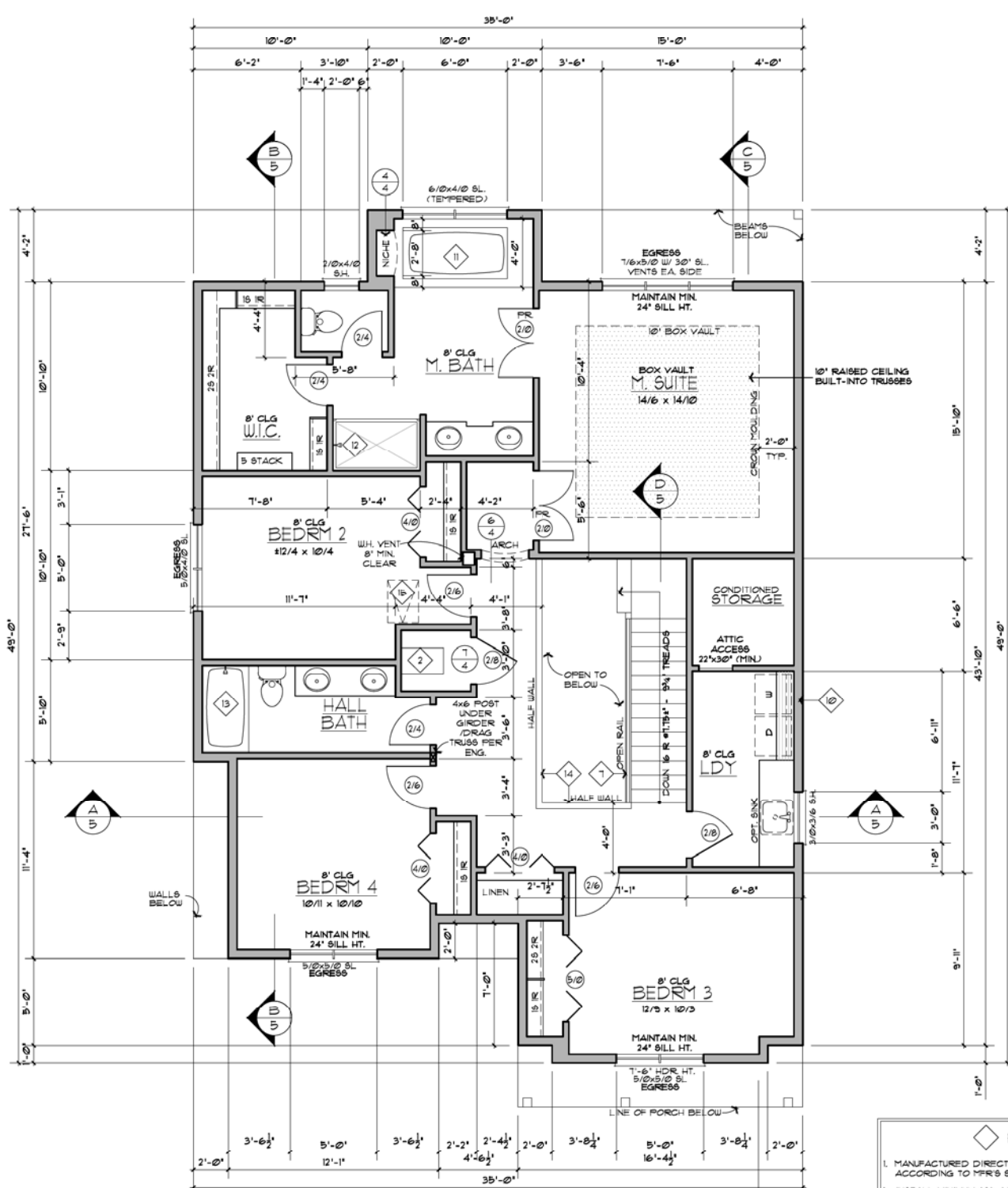
NOTE:
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

PLAN 2375 SYLVAN AMERICAN GARAGE LEFT

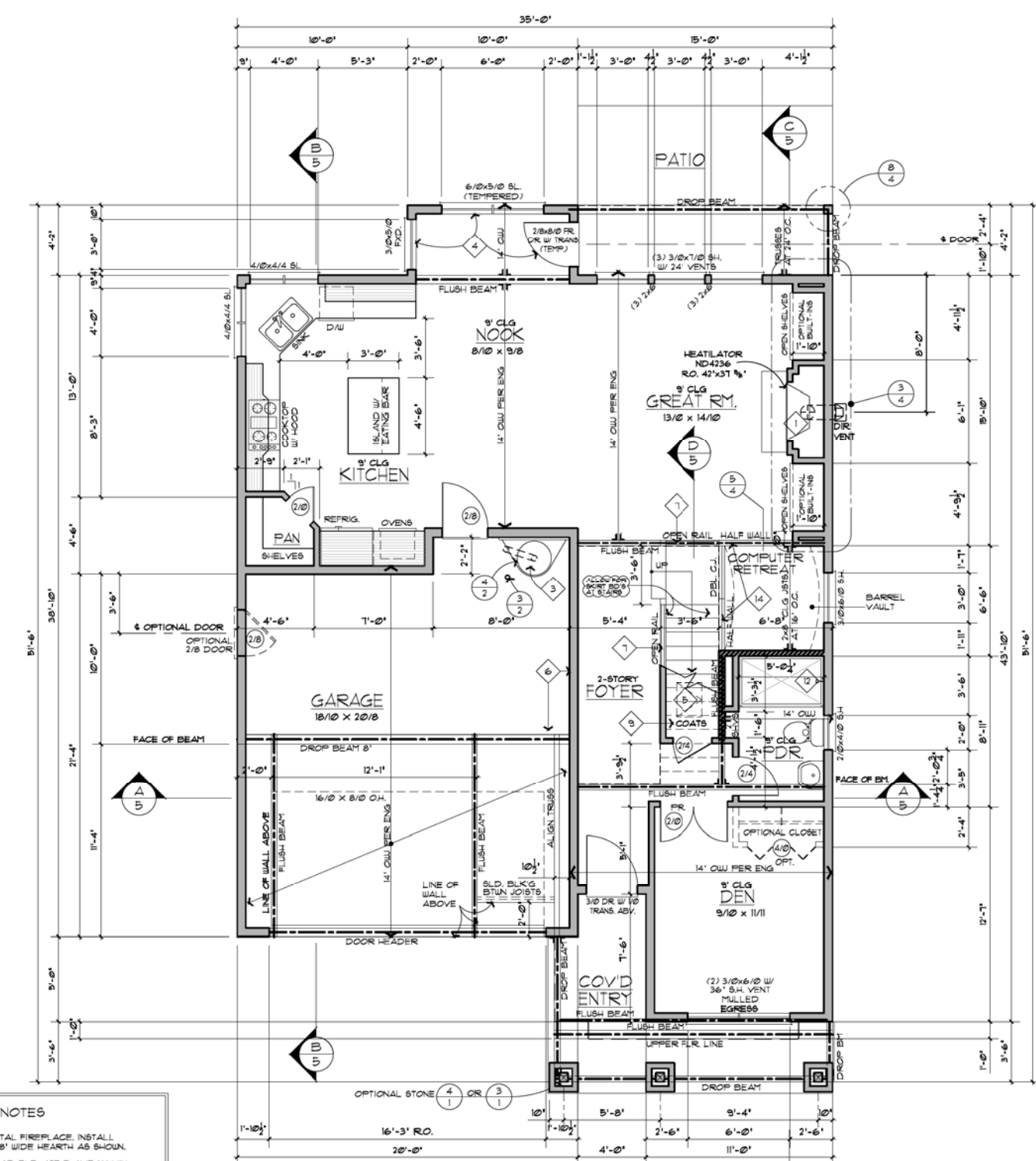
MAIN LEVEL:	979 SQ FT
UPPER LEVEL:	1396 SQ FT
GRAND TOTAL:	2375 SQ FT
GARAGE:	434 SQ FT

These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may result in civil action or constitute a criminal offense.

6/10/11	4BED PRELIM	JUG
6/29/11	APPLIED ENG.	JUG
7/22/11	FINAL CHECK SET	JUG
8/4/11	ELEC. REVISED	JUG
9/23/11	HALF WALL/RAILING REVIS	JUG
1/6/12	DPI CONVERSION	JUG
1/8/12	SP CHECKSET REDLINES	JUG
3/6/12	LOW-VOLT/DECO UPDATES	JUG
3/16/12	PC'S IMPLEMENTED	JUG
4/10/12	FURN. CLOSET FIX.	JUG
4/24/12	PC'S IMPLEMENTED	JUG
8/15/12	LAYERS/DECO/SALES 100 UPDT.	DDR
9/17/12	AMERICAN BRACE UPDATE	JUG
10/13/12	PC'S IMPLEMENTED	DDR
10/15/14	2014 DECO SPEC UPDT.	DDR



UPPER LEVEL FLOOR PLAN
1/4"=1'-0"



MAIN LEVEL FLOOR PLAN
SHOWING UPPER FLOOR FRAMING
1/4"=1'-0"

- FLOOR PLAN KEYNOTES**
- MANUFACTURED DIRECT VENT, GAS, UL LISTED METAL FIREPLACE. INSTALL ACCORDING TO MFR'S SPECIFICATIONS. INSTALL 18" WIDE HEARTH AS SHOWN.
 - INSTALL MINIMUM 92% (AFUE) EFFICIENT GAS FURNACE. ELEVATE FLAME 18" MIN ABOVE FLOOR. INSTALL IN AN INSULATED, THERMALLY CONDITIONED SPACE.
 - GAS WATER HEATER - SEALED UNIT SET ON FLOOR W/ BRACING STRAPS PER DET. PROVIDE R-4 INSULATION AROUND WATER PIPES IN UNHEATED SPACES.
 - ADJUST HEIGHT OF WINDOW ROUGH OPENINGS WITH DOOR ROUGH OPENINGS SO THAT CASING AT WINDOW HEAD WILL ALIGN WITH CASING AT DOOR HEAD.
 - PROVIDE MINIMUM 18"x24" CRAWL SPACE ACCESS WITH AIR-TIGHT GASKET.
 - APPLY 1/2" GYPSUM BOARD TO ALL GARAGE WALLS AND 5/8" TYPE 'X' GYP. BOARD TO CEILING IN GARAGE BENEATH HABITABLE ROOMS. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYP. BD.
 - 36" HIGH CONTINUOUS TRADITIONAL GUARDRAIL ON OPEN SIDE OF STAIR. RETURN ENDS TO WALL OR NEWEL POST. INSTALL EQUALLY SPACED BALUSTERS (4" O.C. MAX.) ON CURB WALL EXTENDING 3' ABOVE STAIR NOSE.
 - NOT USED.
 - APPLY 1/2" GYPSUM BOARD TO WALLS AND CEILING UNDER STAIRS.
 - INSTALL RECESSED WASHER/DRYER HOOKUP.
 - 36"x12" TUB IN TILE COVERED PLATFORM. VERIFY HEIGHT OF PLATFORM WITH TUB MANUFACTURER PRIOR TO CONSTRUCTION. VERIFY WINDOW HEIGHT BEFORE ORDERING WINDOWS. PROVIDE TEMPERED GLASS IN WINDOWS AT TUB AND SHOWER AREA.
 - INSTALL TEMPERED GLASS DOOR AND PARTITION AT 36"x60" FIBERGLASS SHOWER.
 - 32"x60" FIBERGLASS TUB WITH SHOWER.
 - 42" HIGH HALF WALL W/ WOOD CAP. BLOCK ALL PANEL EDGES OF PLYWOOD.
 - PROVIDE MINIMUM 22"x30" ATTIC ACCESS W/ INSULATED 'LID'. PROVIDE INSULATION Baffle AROUND OPENING.

- FLOOR PLAN NOTES:**
- INDICATES INTERIOR BEARING WALLS.
 - PROVIDE FULL BEARING, MINIMUM AT BEAM SUPPORTS (UNLESS NOTED OTHERWISE).
 - PROVIDE AT ALL EXTERIOR DOOR AND WINDOW HEADERS (PER STRUCTURAL) W/ DOUBLE 2x6 TOP PLATES AND BLOCKING AT BOTTOM (UNLESS NOTED OTHERWISE). INSTALL RIGID INSULATION IN CAVITY.
 - PROVIDE 2x6 STUDS AT 16" O.C. WITH R-7 BATT INSULATION AT ALL EXTERIOR WALLS (NO INSULATION AT EXTERIOR GARAGE WALLS UNLESS NOTED OTHERWISE).
 - PROVIDE 2x6 STUDS AT 16" O.C. AT ALL INTERIOR WALLS UNLESS NOTED OTHERWISE.
 - ALL WINDOWS AND GLASS DOORS TO BE VENTL 8484 CLASS 35 UNLESS NOTED OTHERWISE.
 - APPLY ACOUSTIC SEALANT AT THE TOP & BOTTOM OF ALL WALLS.
 - ALL EXTERIOR DOORS TO BE INSTALLED WITH PAN FLASHING.
 - MAINTAIN MINIMUM OF 36" CLEARANCE BETWEEN VENTS AND WINDOW OPENINGS.

NOTE:
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

PLAN 2375
SYLVAN
AMERICAN
GARAGE LEFT

MAIN LEVEL:	979 SQ FT
UPPER LEVEL:	1396 SQ FT
GRAND TOTAL:	2375 SQ FT
GARAGE:	434 SQ FT

3 Sheet 21

These building plans are protected by United States Federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States Copyright Act and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting the rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may result in civil action or constitute a criminal offense.

3/22/13 PRELIMINARY LAYOUT JJK
5/28/14 2014 DECO SPEC UPDT DDR
8/8/14 PLAN UPDATE/REV: DGR
9/1/14 ENGINEERING CHECK DDR
9/1/14 5TH FINAL CHECK DDR
4/3/15 PCF IMPLEMENTED DDR

GENERAL NOTES AND SPECIFICATIONS

CONSTRUCTION SHALL FULLY COMPLY WITH THE CURRENT OREGON EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS (2011 EDITION W/ 2014 AMENDMENTS OF THE ORSC). WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PLEASE NOTIFY THE ARCHITECTURAL TEAM OF ANY VARIATIONS FROM THESE DRAWINGS.

ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTURAL TEAM BEFORE PROCEEDING WITH WORK. THESE DOCUMENTS ARE COPYRIGHT PROTECTED AND MAY NOT BE REPRODUCED, REDRAWN, TRACED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM WEST HILLS DEVELOPMENT.

INSTALL APPROVED FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD IN AND ABOVE ALL SHOWER AND TUB AREAS TO MINIMUM 1" ABOVE THE FLOOR.

EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS. BATHROOMS CONTAINING A SHOWER OR BATHTUB MUST HAVE A FAN CAPABLE OF 80 CFM CONTROLLED BY A DE-HUMIDISTAT, TIMER OR OTHER SIMILAR MEANS OF CONTROL.

CONSULT THE CERTIFIED ENGINEER'S DRAWINGS FOR BEAM SIZES AND LATERAL ENGINEERING INFORMATION.

GAZ PURNAGE: 30% MIN AFUE TO BE INSTALLED IN AN INSULATED, THERMALLY CONDITIONED SPACE WITH INSULATION INSTALLED IN WALL CAVITIES OF CLOSET.

ALL HVAC DUCTING TO BE INSTALLED IN AN INSULATED, CONDITIONED SPACE.

ALL EXTERIOR CUT SURFACES TO BE PRIMED.

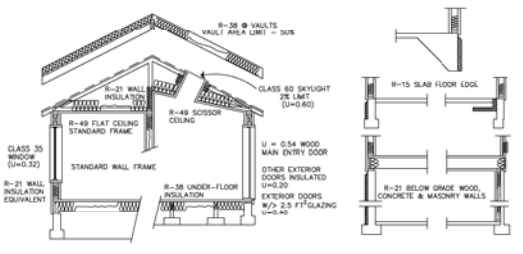
REFER TO ARBOR ROOF AND WINDOW INSTALLATION MANUALS FOR ROOFING, FLASHING, AND INSTALLATION STANDARDS.

RES CONSTRUCTION ENVELOPE STANDARDS:

(FEETS OR EXCEEDS THE 2011 EDITION W/ 2014 AMENDMENTS OF THE ORSC PRESCRIPTIVE ENVELOPE REQUIREMENTS)

ADDITIONAL MEASURES CHOSEN:

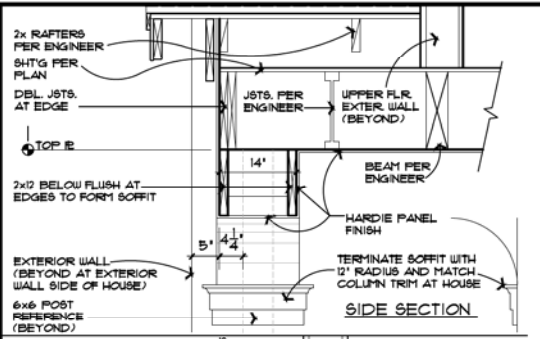
- ENVELOPE ENHANCEMENT MEASURE 1:
- A WHOLE BUILDING VENTILATION SYSTEM COMPLYING WITH TABLE N101(X)
- TESTED WITH A BLOWER DOOR AND FOUND TO EXHIBIT NO MORE THAN:
 - 1. 6.0 AIR CHANGES/HOUR AND
 - 2. PERFORMANCE TESTED DUCT SYSTEMS
- CONSERVATION MEASURE 1A:
 - HIGH EFFICIENCY HVAC SYSTEM: 90% MIN. AFUE PURNAGE



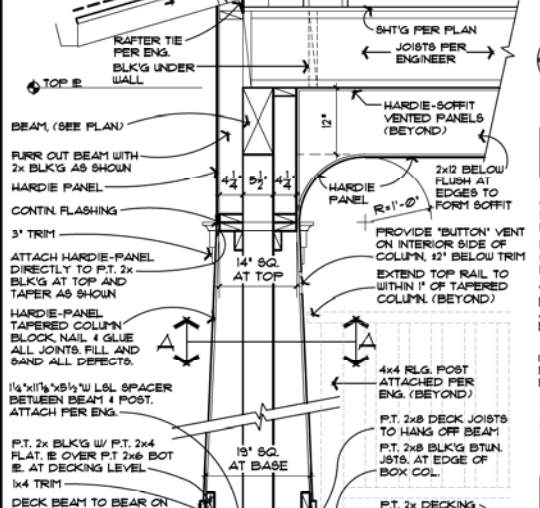
- ### ELEVATION KEYNOTES
- ROOFING (TYPICAL): 30 YEAR HEAVY WEIGHT FIBERGLASS COMPOSITION ROOFING.
 - VERGE BOARD (TYP): R5 1/2 TRIM ON 2x10 VERGE (# FRONT 4 ENHANCED) / 2x8 (# SIDES 4 REAR). PROVIDE 5/4x8 (# SHINGLES AND LAP SIDING) OR 1x8 (# PANEL SIDING) TRIM BOARD FLAT ON WALL AND BUTT TO UNDERSIDE OF ROOF SHEATHING FOLLOWING GABLE END VERGE BOARD.
 - SIDING (TYPICAL): HARDIE STUCCO BRD. SIDING W/ 1 X 3 BATTENS SPACED AT 16" O.C. - UNO.
 - SIDING (TYP WHERE SHOWN): HARDIE-SHINGLE SIDING (W/ METAL COR. TRIM)
 - SIDING (TYPICAL WHERE SHOWN): HARDIE-BOARD LAP SIDING.
 - WINDOW TRIM: 5/4 X 6 AROUND ALL WINDOWS AND DOORS AT FRONT AND ALL WINDOWS AT PANEL AND BATTEN SIDING. NO WINDOW TRIM AT LAP SIDING UNLESS AT ENHANCED ELEVATIONS. FLASH ABOVE ALL HORIZONTAL TRIM.
 - 5/4 X 4 CORNER TRIM AT LAP SIDING, 1 X 4 CORNER TRIM AT PANEL SIDING.
 - HORIZONTAL TRIM: 5/4 X 8 W/ 26 GA. 1" FLASHING OVER TOP AND INTEGRATED W/ WRB.
 - HORIZ. TRIM: 5/4 X 12 W/ 26 GA. 1" FLASHING OVER TOP 4 INTEGRATED W/ WRB.
 - GUTTERS (TYP-UNO): 6" FASCIA STYLE, 26 GA. STEEL GUTTER WITH 2"x3" STEEL DOWNSPOUTS. ALL GUTTERS TO BE SPIKED A MIN. OF 24" O.C. ALL JOINTS TO BE SCREWED AND SEALED WITH ALCOG GUTTER SEAL OR EQUIV. CONNECT ALL DOWNSPOUTS TO RAIN DRAINS WHERE PROVIDED.
 - GARAGE DOOR TRIM SURROUND: 5/4 X 8 AT TOP, 5/4 X 6 AT SIDES
 - CULTURED STONE VENEER (TYPICAL): APPLY SILL STONE AND 6x8 TRIM STONE AROUND WINDOW INSTALL PER MANUFACTURERS SPECIFICATIONS.
 - 6x6 OUTRIGGERS UNDER CANTILEVER SPACED AS SHOWN.



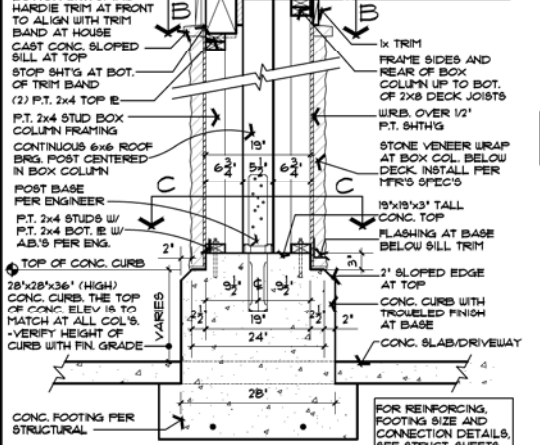
FRONT ELEVATION 1/8"=1'-0"



SIDE SECTION 1/8"=1'-0"



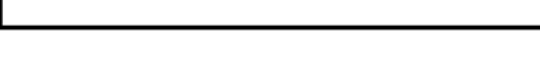
FRONT SECTION 1/8"=1'-0"



COLUMN DETAIL AT TOP 1/8"=1'-0"

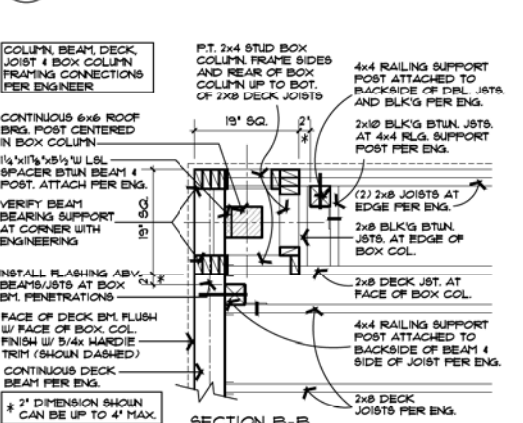


COLUMN DETAIL AT DECK 1/8"=1'-0"

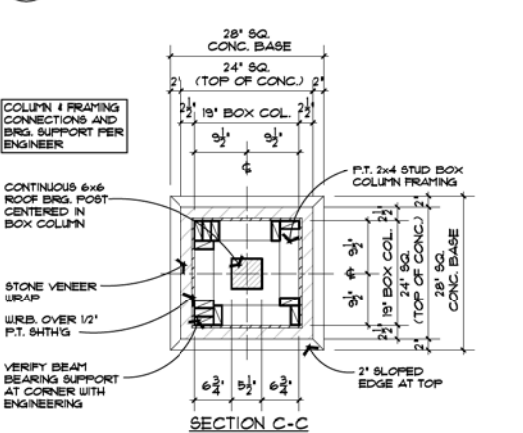


COLUMN DETAIL AT BASE 1/8"=1'-0"

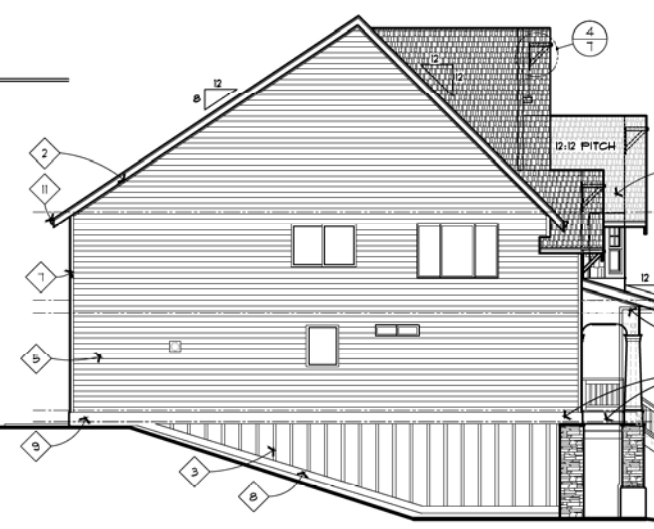
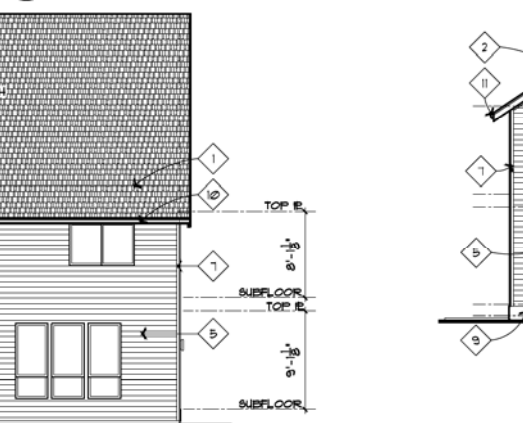
1A COLUMN DETAIL AT TOP PLAN VIEW



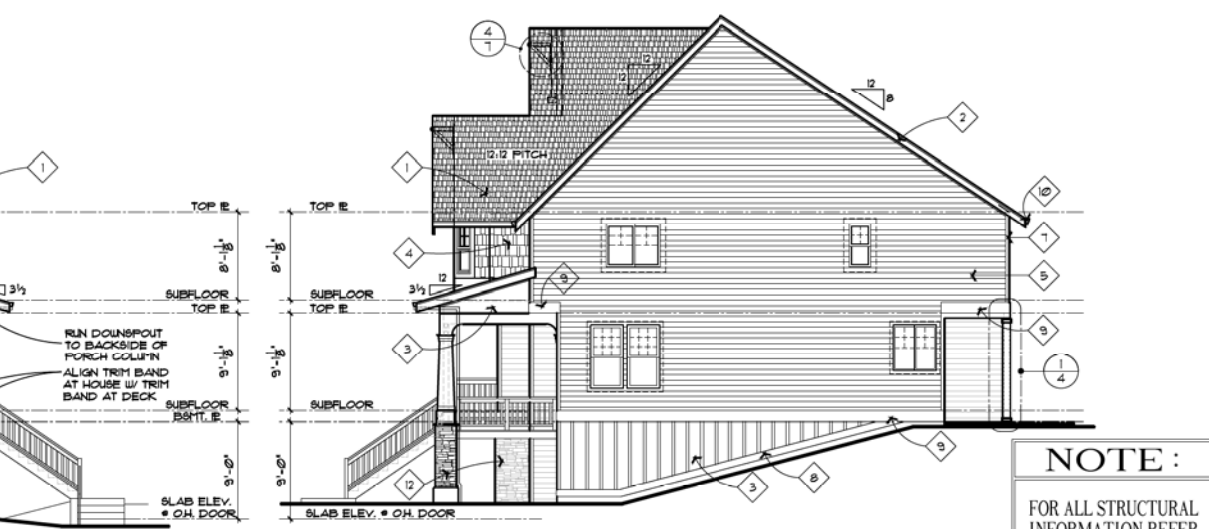
1B COLUMN DETAIL AT DECK PLAN VIEW



1C COLUMN DETAIL AT BASE PLAN VIEW



LEFT SIDE ELEVATION 1/8"=1'-0"



RIGHT SIDE ELEVATION 1/8"=1'-0"

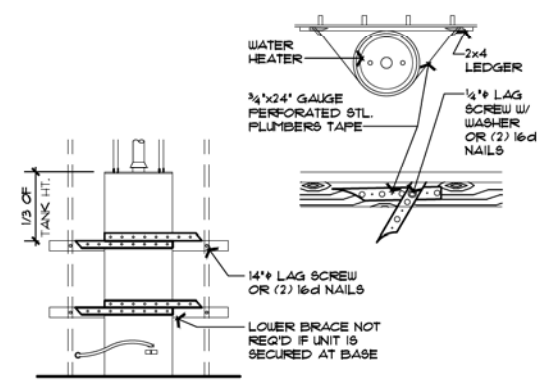
NOTE:
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

PLAN 3509
CORALWOOD
AMERICAN
GARAGE LEFT

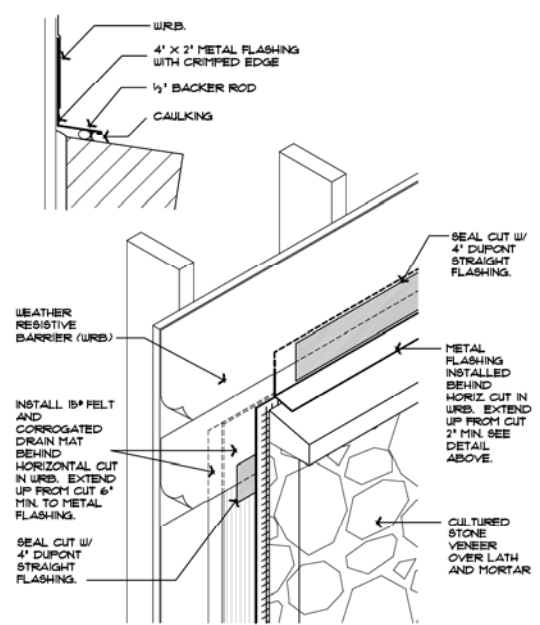
MAIN LEVEL: 1,635 SQ FT
UPPER LEVEL: 1,895 SQ FT
GRAND TOTAL: 3,530 SQ FT
GARAGE: 835 SQ FT

These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may result in civil action or constitute a criminal offense.

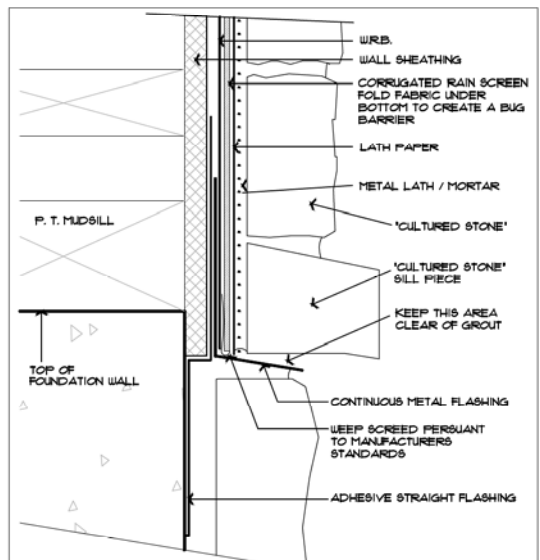
3/22/13	PRELIMINARY LAYOUT	JJK
5/28/14	2014 DECO SPEC UPDT	DDR
8/18/14	PLAN UPDATES/REV.	DDR
9/1/14	ENGINEERING CHECK	DDR
9/17/14	5TP FINAL CHECK	DDR
9/17/14	PUBLISH PLAN	DDR
4/3/15	PCN IMPLEMENTED	DDR



1 BRACING FOR WATER HEATERS
NO SCALE
U-HTR-5



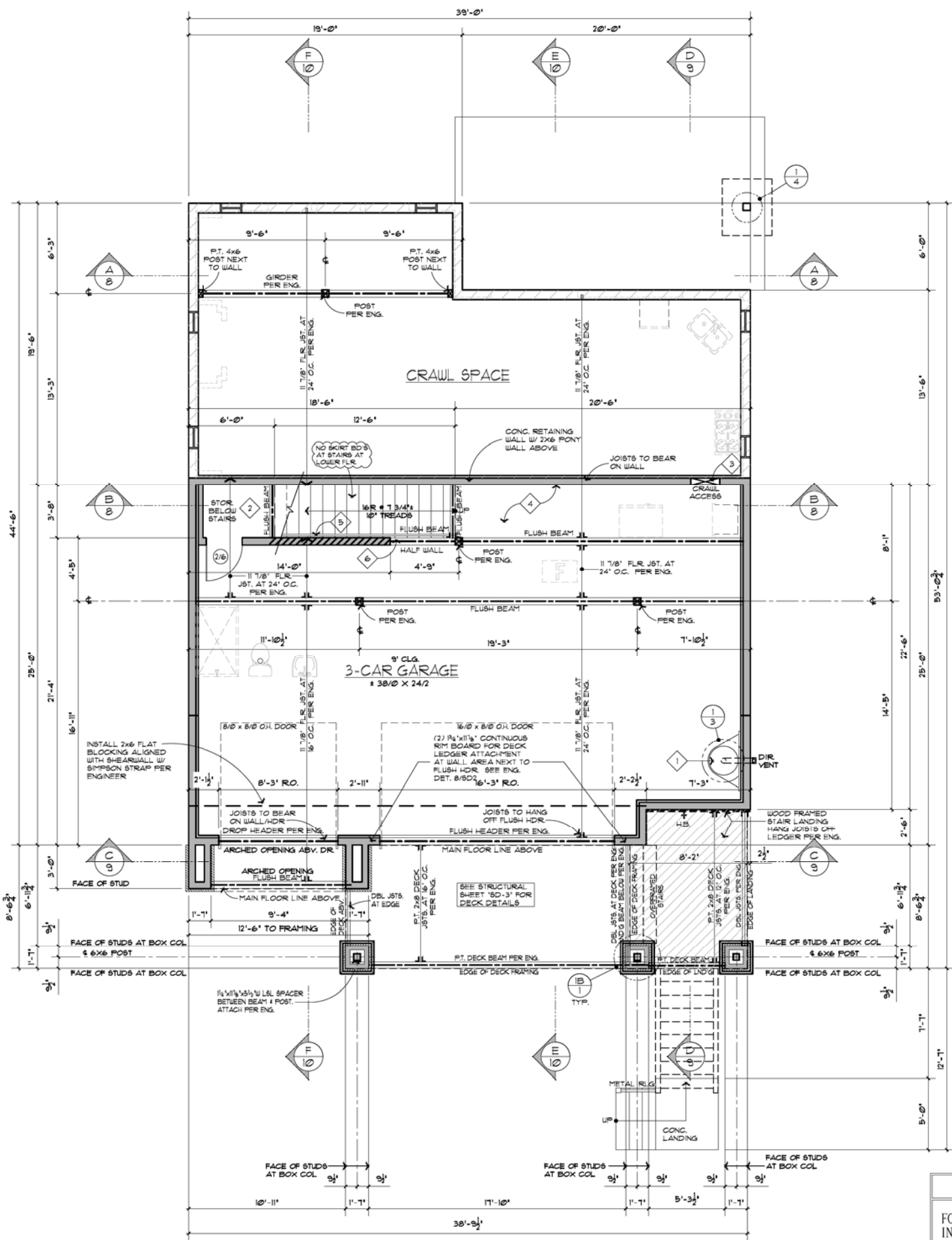
2 CULTURED STONE VENEER FLASHING DETAIL
SCALE: 1/4" = 1'-0"
FLASHING DETAIL-4



3 STONE BASE FLASHING DETAIL
SCALE: NTS
FLASHING DETAIL-6A

- FLOOR PLAN NOTES:**
- /// INDICATES INTERIOR BEARING WALLS.
 - PROVIDE FULL BEARING MINIMUM AT BEAM SUPPORTS (UNLESS NOTED OTHERWISE).
 - PROVIDE AT ALL EXTERIOR DOOR AND WINDOW HEADERS (PER STRUCTURAL) DOUBLE 2x6 TOP PLATES AND BLOCKING AT BOTTOM (UNLESS NOTED OTHERWISE). INSTALL RIGID INSULATION IN CAVITY.
 - PROVIDE 2x6 STUDS AT 16" O.C. WITH R-21 BATT INSULATION AT ALL EXTERIOR WALLS (NO INSULATION AT EXTERIOR GARAGE WALLS UNLESS NOTED OTHERWISE).
 - PROVIDE 2x4 STUDS AT 16" O.C. AT ALL INTERIOR WALLS UNLESS NOTED OTHERWISE.
 - ALL WINDOW AND GLASS DOORS TO BE VINTL. BASH GLASS 30 UNLESS NOTED OTHERWISE.
 - APPLY ACOUSTIC SEALANT AT THE TOP & BOTTOM OF ALL WALLS.
 - ALL EXTERIOR DOORS TO BE INSTALLED WITH PAN FLASHING.
 - MAINTAIN MINIMUM OF 36" CLEARANCE BETWEEN VENTS AND WINDOW OPENINGS.

- LOWER FLOOR PLAN KEYNOTES**
- GAS WATER HEATER - ELEVATE FLAME 18" (MINIMUM) ABOVE SLAB. PROVIDE R-4 INSULATION AROUND WATER PIPES IN UNHEATED SPACES.
 - APPLY 1/2" GYPSUM BOARD TO WALLS AND CEILING AT ENCLOSED USABLE SPACE UNDER STAIRS.
 - PROVIDE MINIMUM 18" x 24" CRAWL SPACE ACCESS WITH AIR-TIGHT GASKET.
 - APPLY 1/2" GYPSUM BOARD TO ALL GARAGE WALLS AND 5/8" TYPE 'X' GYP. BOARD TO CEILING IN GARAGE BENEATH HABITABLE ROOMS WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY. THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYP. BD.
 - 34" HIGH CONTINUOUS TRADITIONAL HANDRAIL MOUNTED ON BRASS PLATED RAIL BRACKETS ON WALL. RETURN ENDS TO WALL OR NEWEL POST.
 - 42" HIGH HALF WALL W/ WOOD CAP. BLOCK ALL PANEL EDGES OF PLYWOOD.



LOWER FLOOR PLAN
SHOWING MAIN FLOOR FRAMING
1/4" = 1'-0"

NOTE:
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

PLAN 3509
CORALWOOD
AMERICAN
GARAGE LEFT

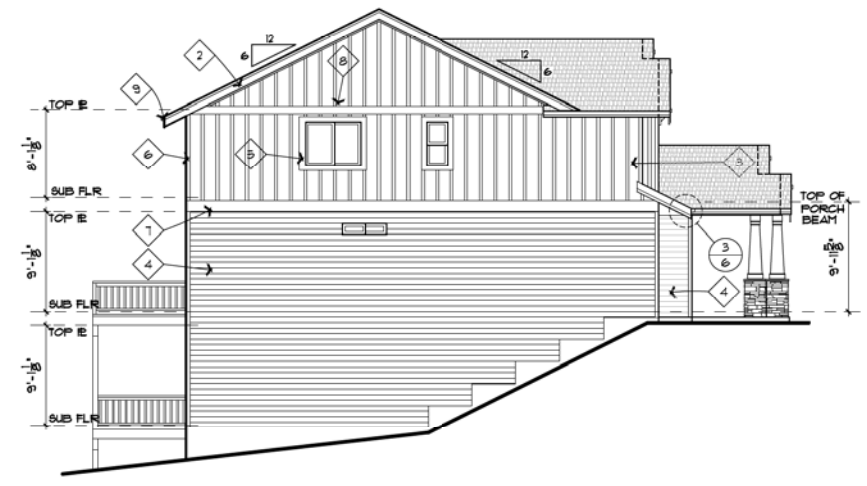
MAIN LEVEL:	1,635 SQ FT
UPPER LEVEL:	1,895 SQ FT
GRAND TOTAL:	3,430 SQ FT
GARAGE:	835 SQ FT

These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may lead to civil action or constitute a criminal offense.

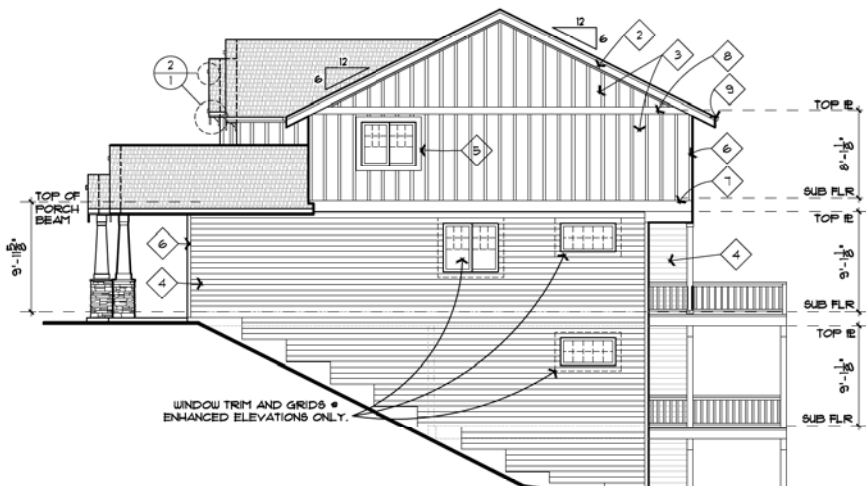
6/8/12 NEW PLAN CREATION FROM 2-CAR W/ ARCHITECT/ENGINEER UPDATES (POTLAND-1000-BASIS) DDR
1/26/13 FINAL CHG/7 PUBLISH PLAN DDR
3/27/13 2013 'A' UPDATES DDR
4/1/14 DECO UPDATES DDR
8/28/14 2014 DECO UPDATES DDR
8/28/14 MEDIA RPT. OPT. BUILT-IN AND MET-BAR UPDATES DDR
3/4/15 2014 CRSG GEN. NOTE UPDT DDR



FRONT ELEVATION 1/4" = 1'-0"



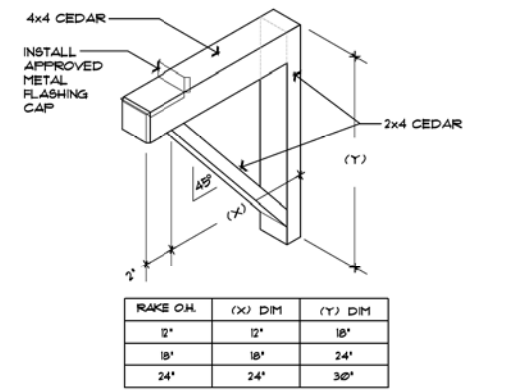
LEFT SIDE ELEVATION 1/8" = 1'-0"



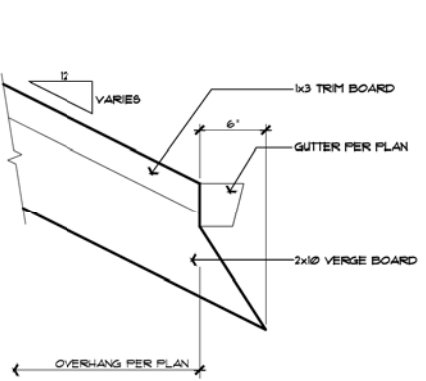
RIGHT SIDE ELEVATION 1/8" = 1'-0"



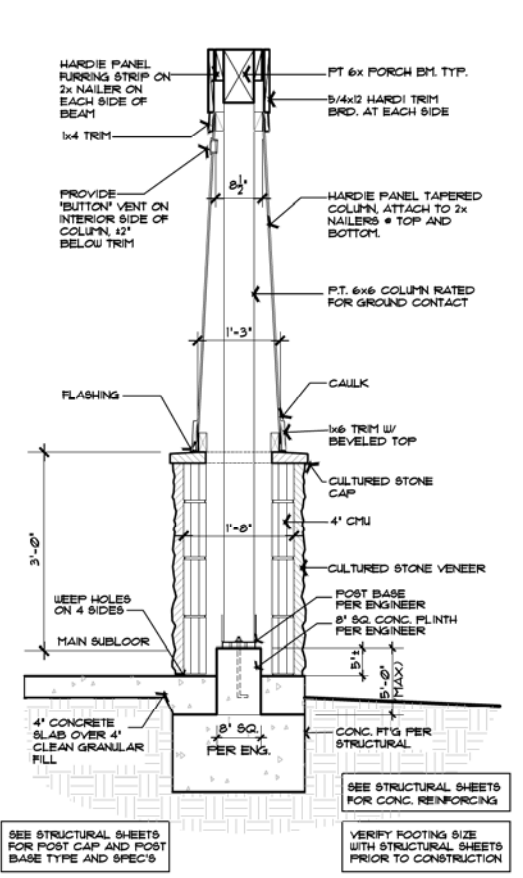
REAR ELEVATION 1/8" = 1'-0"



2 VERGE BOARD BRACE GABLE ANGLE BRACKET SCALE: NONE BRACE



3 VERGE/RAKE DETAIL SCALE: 1/4" = 1'-0" RAKE-3



1 FRONT COLUMN DETAIL SCALE: 3/4" = 1'-0" ARD-COL-104B

RAKE OR	(X) DIM	(Y) DIM
12"	12'	18'
18"	18'	24'
24"	24'	30'

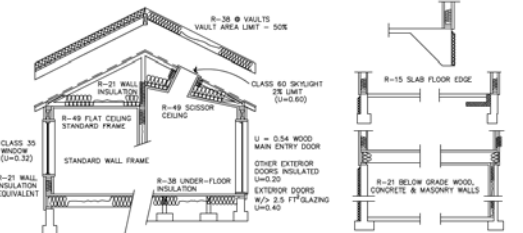
GENERAL NOTES AND SPECIFICATIONS

- CONSTRUCTION SHALL FULLY COMPLY WITH THE CURRENT OREGON EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS (2018 EDITION W/ 2014 AMENDMENTS OF THE ORSC)
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PLEASE NOTIFY THE ARCHITECTURAL TEAM OF ANY VARIATIONS FROM THESE DRAWINGS.
- ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTURAL TEAM BEFORE PROCEEDING WITH WORK.
- THESE DOCUMENTS ARE COPYRIGHT PROTECTED AND MAY NOT BE REUSED, REDRAWN, TRACED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM WEST HILLS DEVELOPMENT.
- INSTALL APPROVED FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
- INSTALL WATERPROOF GYPSUM BOARD IN AND ABOVE ALL SHOWER AND TUB AREAS TO MINIMUM 12" ABOVE THE FLOOR.
- EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS. BATHROOMS CONTAINING A SHOWER OR BATHTUB MUST HAVE A FAN CAPABLE OF 80 CFM CONTROLLED BY A DELAYED START, TIMER OR OTHER SIMILAR MEANS OF CONTROL. CONSULT THE CERTIFIED ENGINEER'S DRAWINGS FOR BEAM SIZES AND LATERAL ENGINEERING INFORMATION.
- GAS FURNACE: 80% MIN. AFUE TO BE INSTALLED IN AN INSULATED, THERMALLY CONDITIONED SPACE WITH INSULATION INSTALLED IN WALL CAVITIES OF CLOSET.
- ALL HVAC DUCTING TO BE INSTALLED IN AN INSULATED, CONDITIONED SPACE.
- ALL EXTERIOR CUT SURFACES TO BE PRIMED.
- REFER TO ARBOR ROOF AND WINDOW INSTALLATION MANUALS FOR ROOFING, FLASHING, AND INSTALLATION STANDARDS.

RES CONSTRUCTION ENVELOPE STANDARDS:
(MEETS OR EXCEEDS THE 2018 EDITION W/ 2014 AMENDMENTS OF THE ORSC PRESCRIPTIVE ENVELOPE REQUIREMENTS)

ADDITIONAL MEASURES CHOSEN:

- ENVELOPE ENHANCEMENT MEASURE 5:
- A WHOLE BUILDING VENTILATION SYSTEM COMPLYING WITH TABLE N15(1)(3)
- TESTED WITH A BLOWER DOOR AND FOUND TO EXHIBIT NO MORE THAN:
 - 6.0 AIR CHANGES/HOUR AND
 - PERFORMANCE TESTED DUCT SYSTEMS
- CONSERVATION MEASURE 5A:
- HIGH EFFICIENCY HVAC SYSTEM: 80% MIN. AFUE FURNACE



- ELEVATION KEYNOTES**
- ROOFING (TYPICAL): 30 YEAR HEAVY WEIGHT FIBERGLASS COMPOSITION ROOFING.
 - VERGE BOARD TYPICAL: R5 1x3 TRIM ON 2x10 VERGE BOARD. PROVIDE 5/4x8 (AT FRONT) AND 1x3 (SIDES AND REAR) SHADOW TRIM BOARD FLAT ON WALL AND BUT TO UNDERSIDE OF ROOF SHEATHING FOLLOWING GABLE END VERGE BOARD.
 - SIDING (TYPICAL): HARDIE-STUCCO BOARD SIDING W/ 1x3 BATTENS AT 16" O.C.
 - SIDING (TYP WHERE SHOWN): HARDIE-BOARD LAP SIDING.
 - WINDOW/DOOR TRIM: 5/4 X 6 AROUND ALL WINDOWS AND DOORS AT FRONT. ALL WINDOWS AT ENHANCED ELEVATIONS AND ALL WINDOWS AT PANEL AND BATTEN SIDING. (NO WINDOW TRIM AT LAP SIDING).
 - CORNER TRIM (TYPICAL): 5/4x4 AT LAP SIDING AND 1x4 TRIM AT PANEL SIDING.
 - HORIZONTAL TRIM (TYPICAL): 5/4x12 WITH 26 GA. 'Z' FLASHING OVER TOP OF TRIM AND INTEGRATE WITH WRB.
 - HORIZONTAL TRIM (TYPICAL): 5/4x8 WITH 26 GA. 'Z' FLASHING OVER TOP OF TRIM AND INTEGRATE WITH WRB.
 - GUTTERS (TYP-UNC): 6" FASCIA STYLE 26 GA. STEEL GUTTER WITH 2'x3' STEEL DOWNSPOUTS. ALL GUTTERS TO BE SPICED A MIN. OF 24" O.C. ALL JOINTS TO BE SCREWED AND SEALED WITH 'ALOGO' GUTTER SEAL OR EQUIV. CONNECT ALL DOWNSPOUTS TO RAIN DRAINS WHERE PROVIDED.
 - GARAGE DOOR TRIM SURROUND: 5/4 X 8 (TOP), 5/4 X 6 (SIDES)
 - VERGE BOARD BRACE (SEE DETAIL 4/1)
 - 24" WIDE SHUTTERS - FRONT ONLY. HEIGHT TO MATCH WINDOW HEIGHT.

THIS MASTER STOCK PLAN IS SHOWN AND ENGINEERED TO WORK ON SLOPED LOTS WHERE GRADING IS SUCH TO REQUIRE A REAR LOWER PATIO OR A LOWER DECK WITH UP TO 6'-0" TALL (MAX) PONY WALLS. -VERIFY GRADING CONDITIONS ON SITE PRIOR TO CONSTRUCTION.

NOTE:
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

PLAN 3653 ARLINGTON AMERICAN (CRAWL SPACE) GARAGE LEFT

MAIN LEVEL:	1253 SQ FT
UPPER LEVEL:	1538 SQ FT
LOWER LEVEL:	840 SQ FT
GRAND TOTAL:	3632 SQ FT
GARAGE:	465 SQ FT

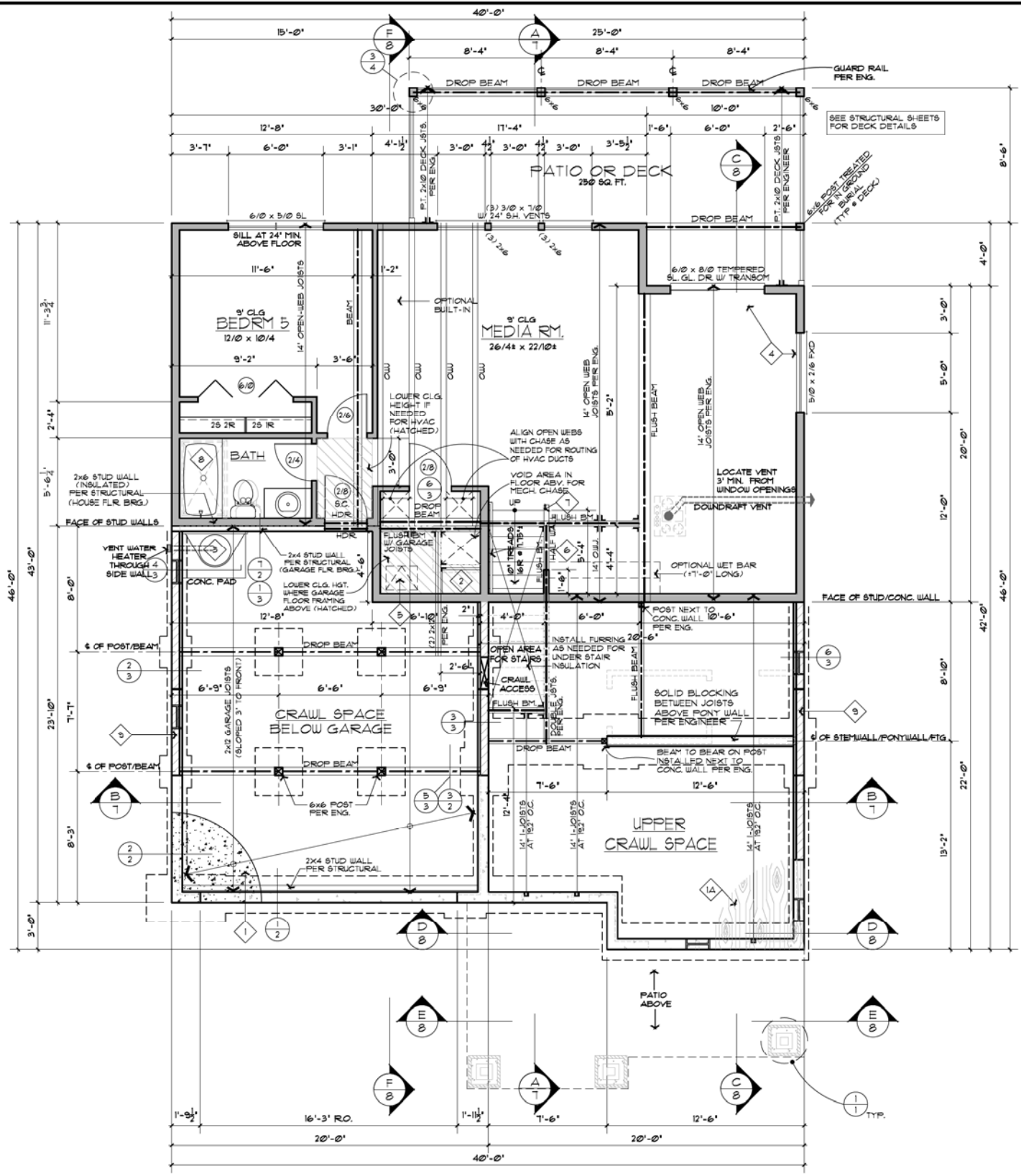
These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting the rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may lead to civil action or constitute a criminal offense.

6/8/12 NEW PLAN CREATION FROM 2-CAR W/ ARCH/ENG/CODE UPDATES
10/26/12 FINAL CHG/ PUBLISH PLAN DDR
3/7/13 2013 'A' UPDATES DDR
4/1/14 DECO UPDATES DDR
8/28/14 MEDIA RM OPT. BUILT-IN AND WET-BAR UPDATES DDR
3/4/15 2014 CRSG GEN. NOTE UPDT DDR

**PLAN 3653
ARLINGTON
AMERICAN
(CRAWL SPACE)
GARAGE LEFT**

MAIN LEVEL: 1253 SQ FT
UPPER LEVEL: 1538 SQ FT
LOWER LEVEL: 840 SQ FT
GRAND TOTAL: 3632 SQ FT

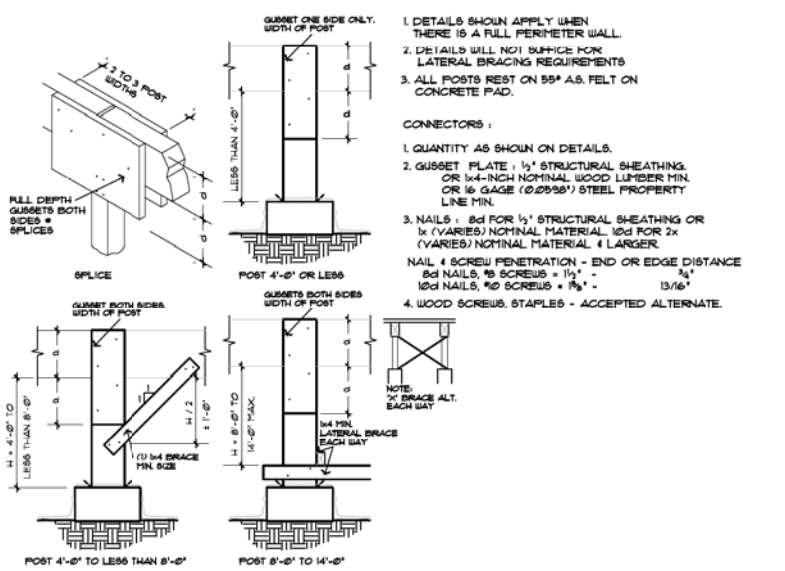
GARAGE: 469 SQ FT



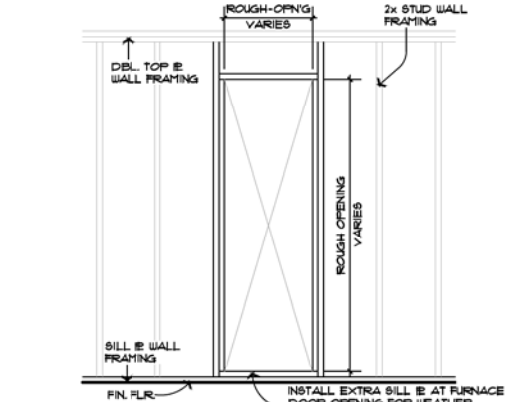
LOWER LEVEL FLOOR PLAN
SHOWING MAIN FLOOR FRAMING

- FLOOR PLAN NOTES:**
- INDICATES INTERIOR BEARING WALLS.
 - INDICATES PONY WALL WITH 2x STUDS PER ENGINEER (VERIFY LOCATIONS W/ FIN GRADE)
 - PROVIDE FULL BEARING MINIMUM AT BEAM SUPPORTS (UNLESS NOTED OTHERWISE)
 - PROVIDE AT ALL EXTERIOR DOOR AND WINDOW HEADERS (PER STRUCTURAL) DOUBLE 2x6 TOP PLATES AND BLOCKING AT BOTTOM (UNLESS NOTED OTHERWISE). INSTALL RIGID INSULATION IN CAVITY.
 - PROVIDE 2x6 STUDS AT 16" O.C. WITH R-21 BATT INSULATION AT ALL EXTERIOR WALLS (NO INSULATION AT EXTERIOR GARAGE WALLS UNLESS NOTED OTHERWISE)
 - PROVIDE 2x4 STUDS AT 16" O.C. AT ALL INTERIOR WALLS UNLESS NOTED OTHERWISE
 - ALL WINDOW AND GLASS DOORS TO BE VINTL. SASH CLASS 35 UNLESS NOTED OTHERWISE
 - APPLY ACOUSTIC SEALANT AT THE TOP & BOTTOM OF ALL WALLS
 - ALL EXTERIOR DOORS TO BE INSTALLED WITH PLAN FLASHING
 - MAINTAIN MINIMUM OF 36" CLEARANCE BETWEEN VENTS AND WINDOW OPENINGS.

NOTE:
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

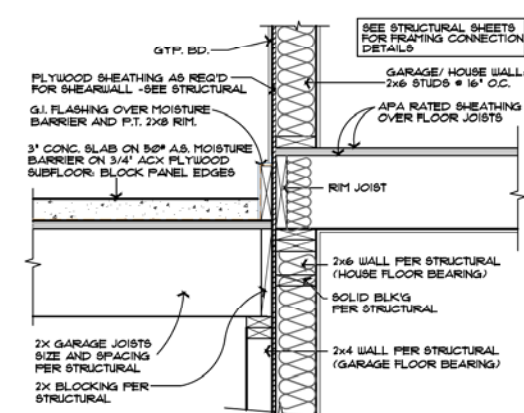


5 TYP. POST CONN. DET.

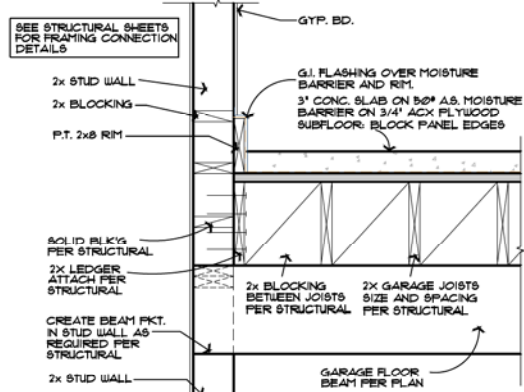


6 FURNACE DOOR OPENING DETAIL

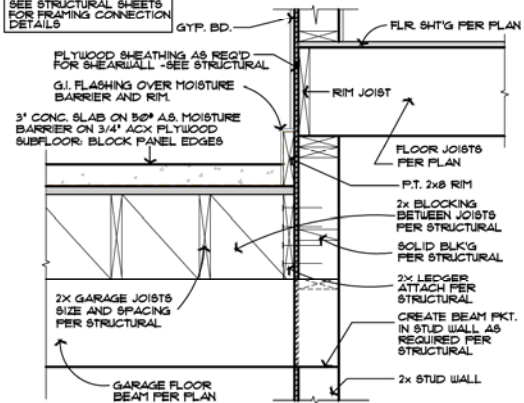
- FLOOR PLAN KEYNOTES**
- GARAGE FLOOR (TYPICAL): 3" CONCRETE SLAB ON 5/8" A.S. MOISTURE BARRIER ON 3/4" ACX PLYWOOD SHEATHING ON 2x12 GARAGE JOISTS PER ENG. SLOPED 3" TO GARAGE DOOR (1/8" FT. MIN). INSTALL CONTROL JOINTS AT APPROXIMATELY 11'-0" O.C. EACH WAY.
 - INSTALL MINIMUM 92% (AFUE) EFFICIENT GAS FURNACE. ELEVATE FLAME 18" ABOVE FLOOR.
 - GAS WATER HEATER. ELEVATE FLAME 18" (MINIMUM) ABOVE SLAB. PROVIDE R-4 INSULATION AROUND WATER PIPES IN UNHEATED SPACES.
 - ADJUST HEIGHT OF WINDOW ROUGH OPENINGS WITH DOOR ROUGH OPENINGS SO THAT CASING AT WINDOW HEAD WILL ALIGN WITH CASING AT DOOR HEAD.
 - PROVIDE MINIMUM 18"x24" CRAWL SPACE ACCESS WITH AIR-TIGHT GASKET.
 - 34" HIGH CONTINUOUS TRADITIONAL HANDRAIL MOUNTED ON BRASS PLATED RAIL BRACKETS ON WALL. RETURN ENDS TO WALL OR NEEL. POST.
 - 36" HIGH WALL WITH WOOD CAP. - BLOCK ALL PANEL EDGES.
 - 32"x60" FIBERGLASS TUB WITH SHOWER.
 - 8" CONC. WALL (PER ENG.) STEPPED WITH GRADE ALONG SIDES OF HOUSE WITH 2x6 STUD CRIPPLE WALL ABOVE.



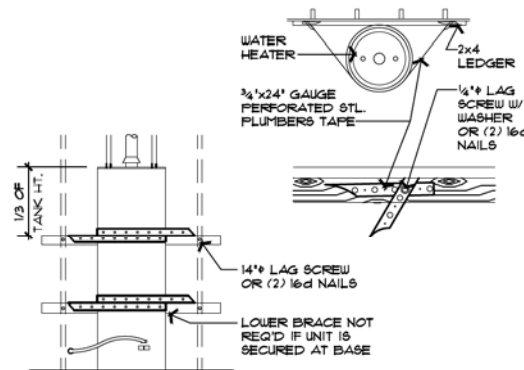
1 GARAGE REAR WALL DETAIL



2 GARAGE SIDE WALL DETAIL



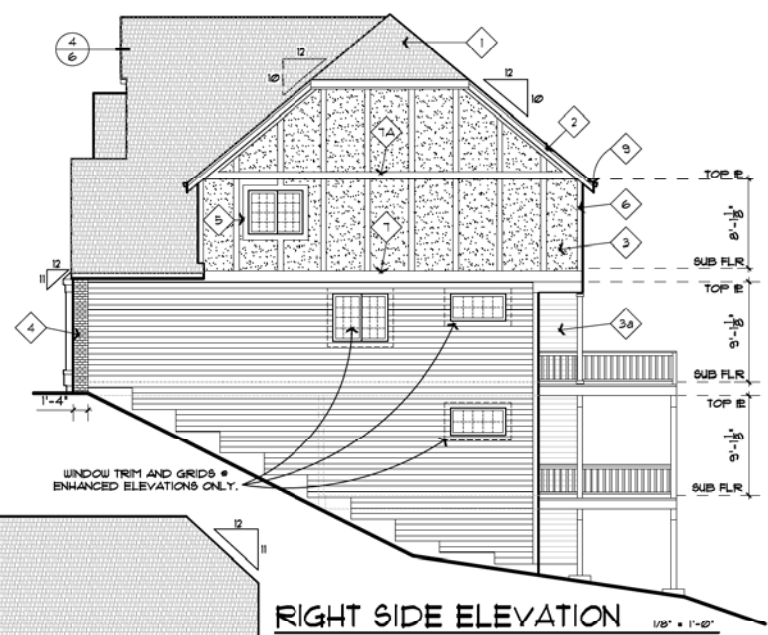
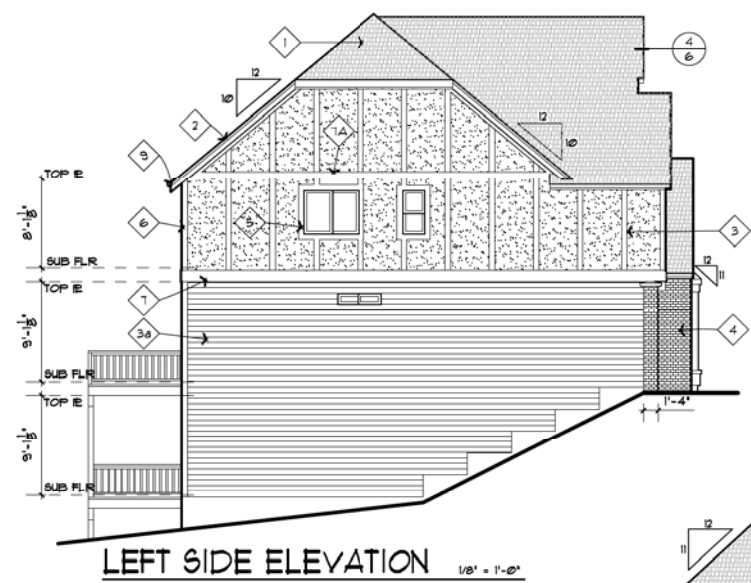
3 GARAGE SIDE WALL DETAIL



4 BRACING FOR WATER HEATERS

These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States Copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in connection with the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may lead to civil action or constitute a criminal offense.

6/8/12 NEW PLAN CREATION FROM 2-CAR ARCH. ENGR. CODE UPDATES (POND-LAKE W/ BASEMENT) DDR
3/16/13 2013 "A" UPDATES DDR
3/16/13 PUBLISH PLAN DDR
4/1/14 DECO UPDATES DDR
8/28/14 2014 DECO UPDATES DDR
8/28/14 MEDIA RFI OPT. BUILT-IN AND LET-BAR UPDATES DDR
3/4/15 2014 ORSG GEN. NOTE UPDT DDR



- ◇ ELEVATION KEYNOTES**
1. ROOFING (TYPICAL): 30 YEAR HEAVY WEIGHT FIBERGLASS COMPOSITION ROOFING.
 2. VERGE BOARD TYPICAL: 1/2" x 3" TRIM ON 2x8 VERGE BOARD. PROVIDE 2x12 TRIM BOARD + STUCCO BOARD OR 5/4x8 SHADOW BOARD AT BRICK F.L. AT ON WALL AND BUTT TO UNDERSIDE OF ROOF SHEATHING FOLLOWING GABLE END VERGE BD.
 3. SIDING (TYPICAL): HARDIE-STUCCO BOARD SIDING W/ 1/2" BATTENS SPACED AS SHOWN AT FRONT AROUND WINDOWS AND AT 48" O.C. AT OPEN RUNS.
 - 3A. SIDING (TYP. WHERE SHOWN): HARDIE-BOARD LAP SIDING.
 4. VENEER (TYPICAL): 4" BRICK VENEER WITH MASONRY TIES AT 16" O.C. EACH WAY AND HORIZONTAL NO. 9 WIRES CONTINUOUS AT 12" O.C. - EXTEND VENEER UP WALL AS SHOWN. PROVIDE SLOPING ROULOCK COURSE AT TOP.
 5. WINDOW 4 DOOR TRIM (TYPICAL): 5/4x6 AT PANEL SIDING, TRIM AT LAP SIDING AT ENHANCED ELEVATION ONLY.
 6. CORNER TRIM (TYPICAL): 5/4x6 AT LAP SIDING AND 1x6 TRIM AT PANEL SIDING.
 7. HORIZONTAL TRIM (TYPICAL): 5/4x12 WITH 26 GA. 1/2" FLASHING OVER TOP OF TRIM AND INTEGRATE WITH WRB.
 - 7A. HORIZONTAL TRIM (TYPICAL): 5/4x8 WITH 26 GA. 1/2" FLASHING OVER TOP OF TRIM AND INTEGRATE WITH WRB.
 8. HARDIE-STUCCO BOARD - FRONT BAY.
 9. GUTTERS (TYP. UNO.): 6" FASCIA STYLE, 26 GA. STEEL GUTTER WITH 2'x3" STEEL DOWNSPOUTS. ALL GUTTERS TO BE SPIKED A MIN. OF 24" O.C. ALL JOINTS TO BE SCREWED AND SEALED WITH "ALCOCO" GUTTER SEAL OR EQUIV. CONNECT ALL DOWNSPOUTS TO RAIN DRAINS WHERE PROVIDED.
 10. NOT USED.
 11. VENEER (TYP.): CAMAS STONE AROUND OPENING AS SHOWN.
 12. 6x6 OUTRIGGERS - CANTILEVER AS SHOWN. SEE DET. 5/6.
 13. 24" WIDE SHUTTERS - FRONT ONLY. HEIGHT TO MATCH WINDOW HEIGHT.

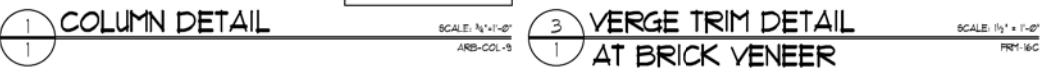
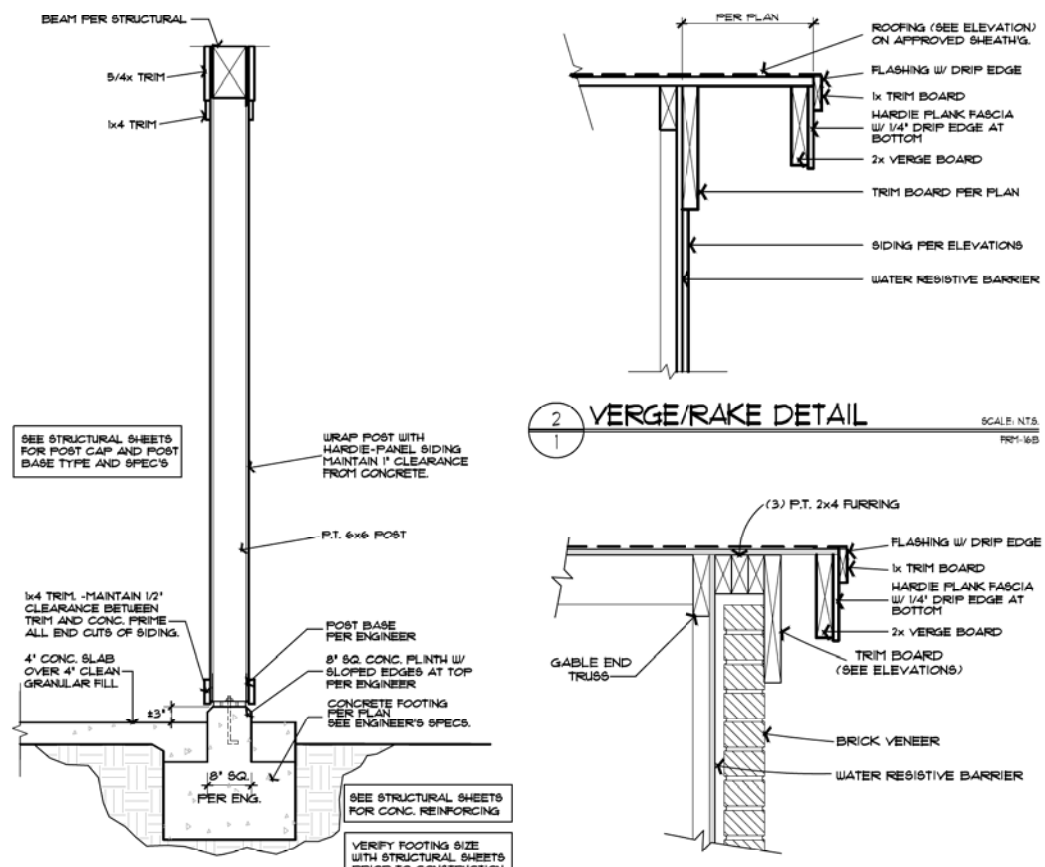
THIS MASTER STOCK PLAN IS SHOWN AND ENGINEERED TO WORK ON SLOPED LOTS WHERE GRADING IS SUCH TO REQUIRE A REAR LOWER PATIO OR A LOWER DECK WITH UP TO 6'-0" TALL (MAX.) PONY WALLS. -VERIFY GRADING CONDITIONS ON SITE PRIOR TO CONSTRUCTION.

NOTE :
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

PLAN 3653
ARLINGTON
ENGLISH
GARAGE LEFT

MAIN LEVEL:	1245 SQ FT
UPPER LEVEL:	1568 SQ FT
LOWER LEVEL:	840 SQ FT
GRAND TOTAL:	3653 SQ FT

GARAGE: 466 SQ FT



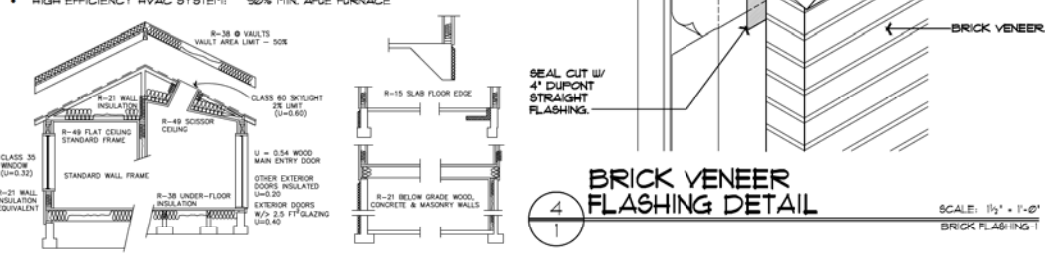
GENERAL NOTES AND SPECIFICATIONS

- CONSTRUCTION SHALL FULLY COMPLY WITH THE CURRENT OREGON EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS (2018 EDITION W/ 2014 AMENDMENTS OF THE ORSG).
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PLEASE NOTIFY THE ARCHITECTURAL TEAM OF ANY VARIATIONS FROM THESE DRAWINGS.
- ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTURAL TEAM BEFORE PROCEEDING WITH WORK.
- THESE DOCUMENTS ARE COPYRIGHT PROTECTED AND MAY NOT BE REUSED, REDRAWN, TRACED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM WEST HILLS DEVELOPMENT.
- INSTALL APPROVED FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
- INSTALL WATERPROOF GYPSUM BOARD IN AND ABOVE ALL SHOWER AND TUB AREAS TO MINIMUM 1/2" ABOVE THE FLOOR.
- EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS. BATHROOMS CONTAINING A SHOWER OR BATHTUB MUST HAVE A FAN CAPABLE OF 80 CFM CONTROLLED BY A DE-HUMIDISTAT, TIMER OR OTHER SIMILAR MEANS OF CONTROL.
- CONSULT THE CERTIFIED ENGINEER'S DRAWINGS FOR BEAM SIZES AND LATERAL ENGINEERING INFORMATION.
- GAS FURNACE, 90% MIN. AFUE TO BE INSTALLED IN AN INSULATED THERMALLY CONDITIONED SPACE WITH INSULATION INSTALLED IN WALL CAVITIES OF CLOSET.
- ALL HVAC DUCTING TO BE INSTALLED IN AN INSULATED, CONDITIONED SPACE.
- ALL EXTERIOR CUT SURFACES TO BE PRIMED.
- REFER TO ARBOR ROOF AND WINDOW INSTALLATION MANUALS FOR ROOFING, FLASHING, AND INSTALLATION STANDARDS.

RES CONSTRUCTION ENVELOPE STANDARDS:
(MEETS OR EXCEEDS THE 2011 EDITION W/ 2014 AMENDMENTS OF THE ORSG PRESCRIPTIVE ENVELOPE REQUIREMENTS)

ADDITIONAL MEASURES CHOSEN:

- ENVELOPE ENHANCEMENT MEASURE 5:
- A WHOLE BUILDING VENTILATION SYSTEM COMPLYING WITH TABLE N10(1)(3)
- TESTED WITH A BLOWER DOOR AND FOUND TO EXHIBIT NO MORE THAN:
 1. 6.0 AIR CHANGES/HOUR AND
 2. PERFORMANCE TESTED DUCT SYSTEMS
- CONSERVATION MEASURE 1A:
 - HIGH EFFICIENCY HVAC SYSTEM: 90% MIN. AFUE FURNACE

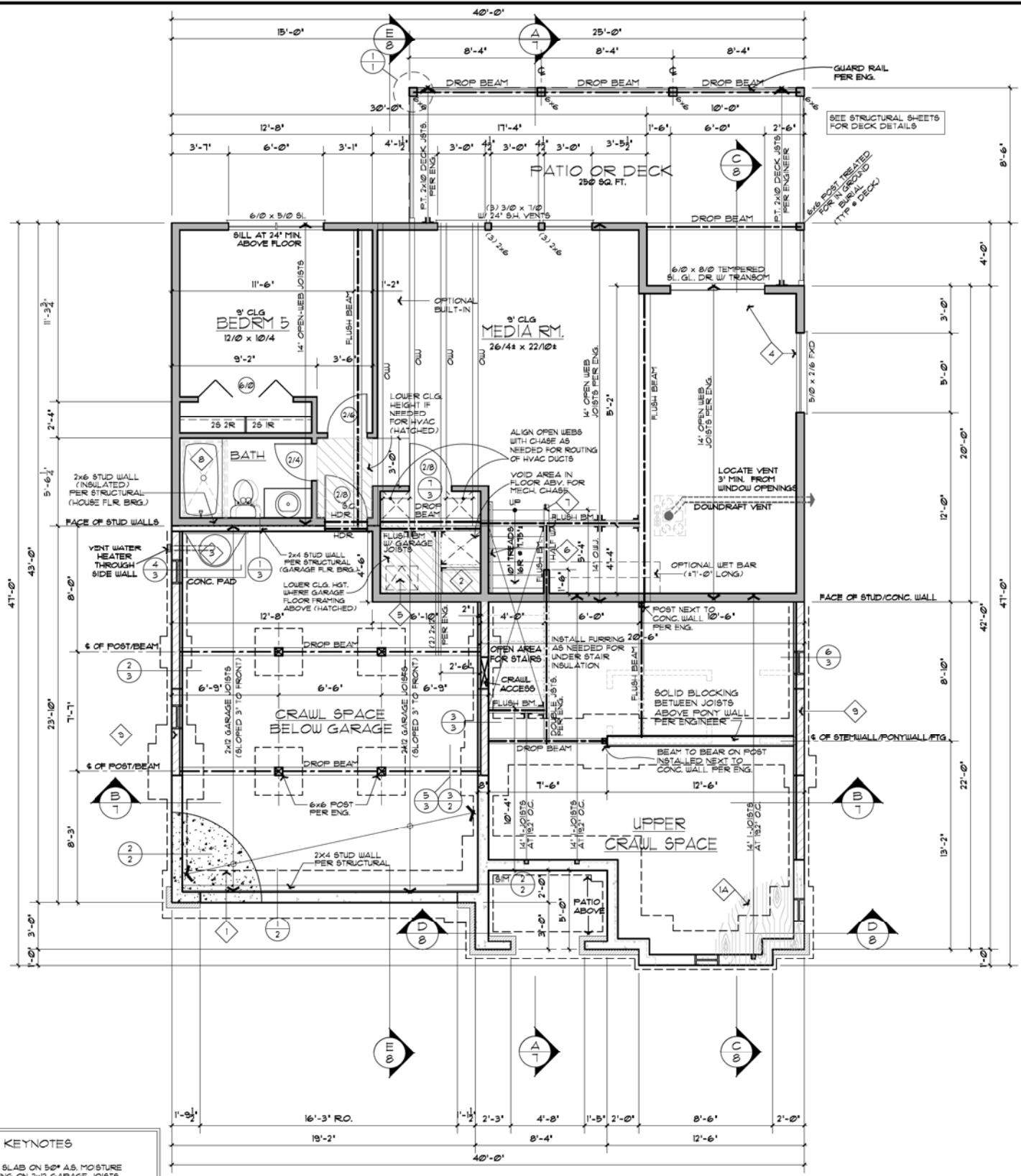


These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States Copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may lead to civil action or constitute a criminal offense.

6/8/12 NEW PLAN CREATION FROM 2-CAR W/ ARCH. ENG. CODE UPDATES (POND-LAKE W/ BASEMENT) DDR
3/16/13 2013 "A" UPDATES DDR
3/16/13 PUBLISH PLAN DDR
4/1/14 DECO UPDATES DDR
8/28/14 2014 DECO UPDATES DDR
8/28/14 MEDIA RM OPT. BUILT-IN AND LET-BAR UPDATES DDR
3/17/15 2014 ORIG. GEN. NOTE UPDT DDR

**PLAN 3653
ARLINGTON
ENGLISH
GARAGE LEFT**

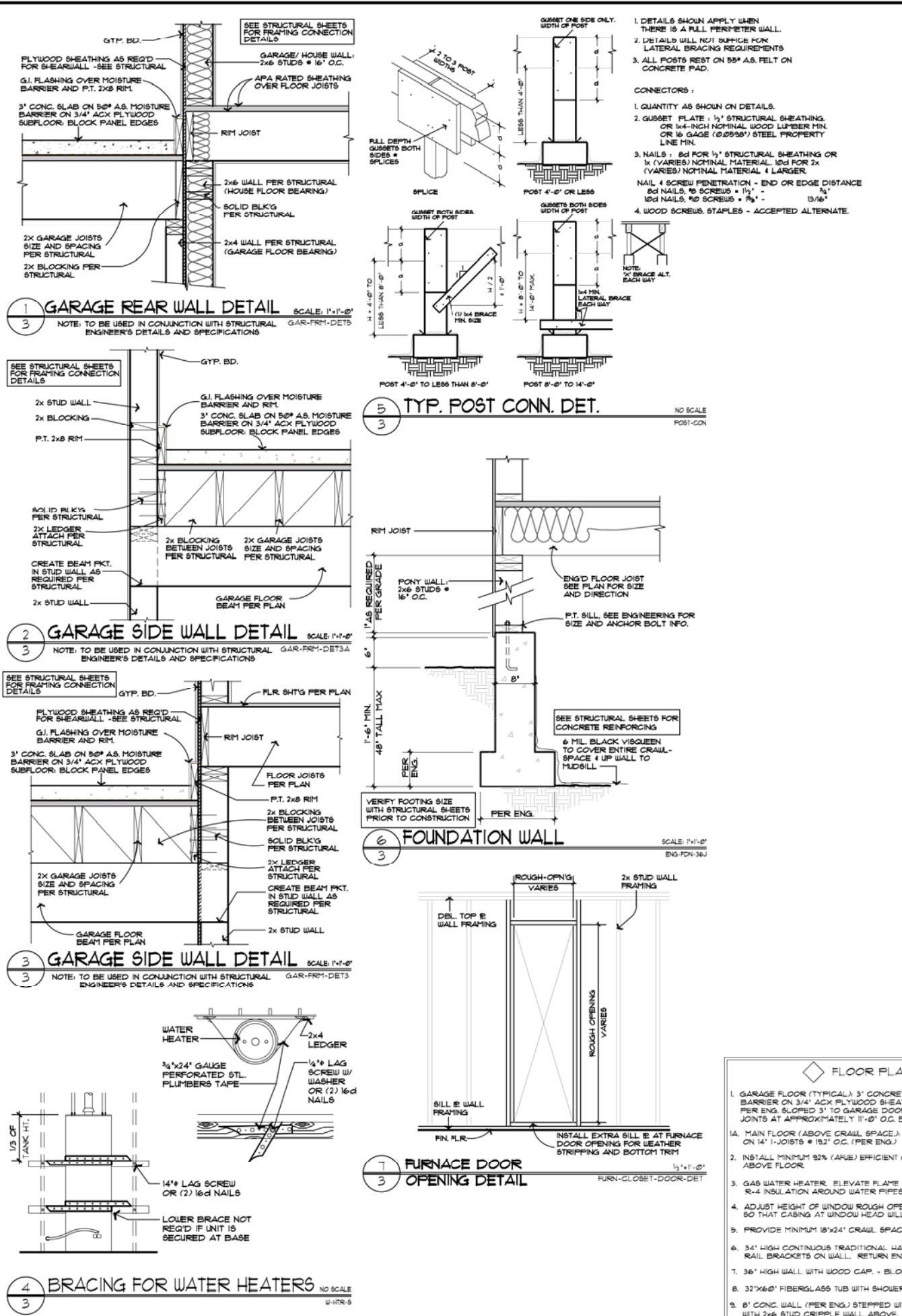
MAIN LEVEL:	1245 SQ FT
UPPER LEVEL:	1568 SQ FT
LOWER LEVEL:	840 SQ FT
GRAND TOTAL:	3653 SQ FT
GARAGE:	466 SQ FT



LOWER LEVEL FLOOR PLAN
SHOWING MAIN FLOOR FRAMING

- FLOOR PLAN KEYNOTES**
1. GARAGE FLOOR (TYPICAL) 3" CONCRETE SLAB ON 50# A.S. MOISTURE BARRIER ON 3/4" ACX PLYWOOD SHEATHING ON 2X2 GARAGE JOISTS PER ENG. SLOPED 3" TO GARAGE DOOR (1/8" FT. MIN). INSTALL CONTROL JOINTS AT APPROXIMATELY 11'-0" O.C. EACH WAY.
 - 1A. MAIN FLOOR (ABOVE CRAWL SPACE) 7/8" APA APPROVED T&G DECKING ON 14" I-JOISTS @ 19" O.C. (PER ENG.)
 2. INSTALL MINIMUM 92% (AUE) EFFICIENT GAS FURNACE. ELEVATE FLAME 18" ABOVE FLOOR.
 3. GAS WATER HEATER. ELEVATE FLAME 18" (MINIMUM) ABOVE SLAB. PROVIDE R-4 INSULATION AROUND WATER PIPES IN UNHEATED SPACES.
 4. ADJUST HEIGHT OF WINDOW ROUGH OPENINGS WITH DOOR ROUGH OPENINGS SO THAT CASING AT WINDOW HEAD WILL ALIGN WITH CASING AT DOOR HEAD.
 5. PROVIDE MINIMUM 18"x24" CRAWL SPACE ACCESS WITH AIR-TIGHT GASKET.
 6. 34" HIGH CONTINUOUS TRADITIONAL HANDRAIL MOUNTED ON BRASS PLATED RAIL BRACKETS ON WALL. RETURN ENDS TO WALL OR NEIUEL POST.
 7. 36" HIGH WALL WITH WOOD CAP. - BLOCK ALL PANEL EDGES.
 8. 32"x60" FIBERGLASS TUB WITH SHOWER.
 8. 8" CONC. WALL (PER ENG.) STEPPED WITH GRADE ALONG SIDES OF HOUSE WITH 2X6 STUD CRIPPLE WALL ABOVE.
- FLOOR PLAN NOTES:**
- INDICATES INTERIOR BEARING WALLS
 - INDICATES PONY WALL WITH 3x STUDS PER ENGINEER (VERIFY LOCATIONS W/ FIN GRADE)
 - PROVIDE WALL BEARING MINIMUM AT BEAM SUPPORTS (UNLESS NOTED OTHERWISE)
 - PROVIDE AT ALL EXTERIOR DOOR AND WINDOW HEADS (PER STRUCTURAL) 2X6 TOP PLATES AND BLOCKING AT BOTTOM (UNLESS NOTED OTHERWISE). INSTALL RIGID INSULATION IN CAVITY.
 - PROVIDE 3x6 STUDS AT 16" O.C. WITH R-2 BATT INSULATION AT ALL EXTERIOR WALLS (NO INSULATION AT EXTERIOR GARAGE WALLS UNLESS NOTED OTHERWISE)
 - PROVIDE 2x4 STUDS AT 16" O.C. AT ALL INTERIOR WALLS UNLESS NOTED OTHERWISE
 - ALL UNICORNS AND GLASS DOORS TO BE VINYL BASH GLASS UNLESS NOTED OTHERWISE
 - APPLY ACOUSTIC SEALANT AT THE TOP 4 BOTTOM OF ALL WALLS
 - ALL EXTERIOR DOORS TO BE INSTALLED WITH PAN FLASHING
 - MAINTAIN MINIMUM OF 36" CLEARANCE BETWEEN VENTS AND WINDOW OPENINGS

NOTE :
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

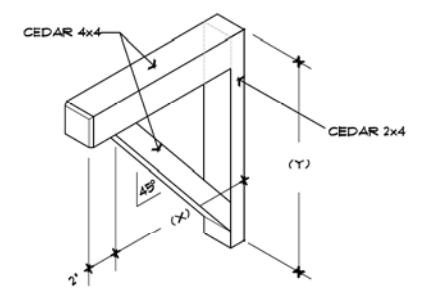


These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States Copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may lead to civil action or constitute a criminal offense.

10/18/12 PRELIM W/ UPDATE DDR
10/22/12 FINAL CHK. STP
10/23/12 PUBLISH PLAN DDR
12/13/12 RACION DUBOIS UPDT. DDR

PLAN 2477G
BRIARWOOD
AMERICAN
GARAGE LEFT

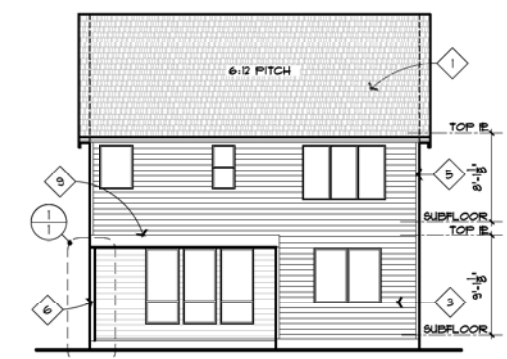
MAIN LEVEL: 1,928 SQ FT
UPPER LEVEL: 1,298 SQ FT
GRAND TOTAL: 3,226 SQ FT
GARAGE: 636 SQ FT



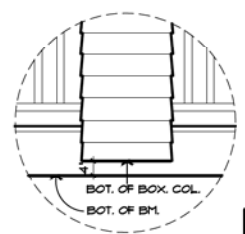
RAKE OH.	(X) DIM	(Y) DIM
12'	12'	18'
18'	18'	24'
24'	24'	30'

3 VERGE BOARD BRACE
1 GABLE ANGLE BRACKET

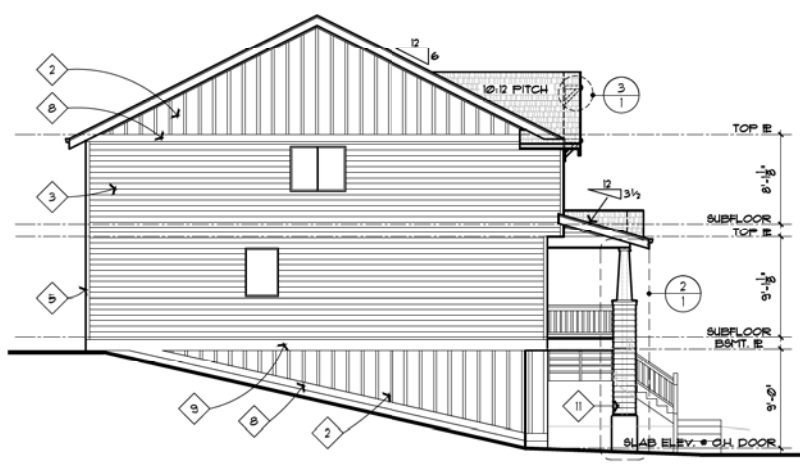
SCALE: NONE
BRACE



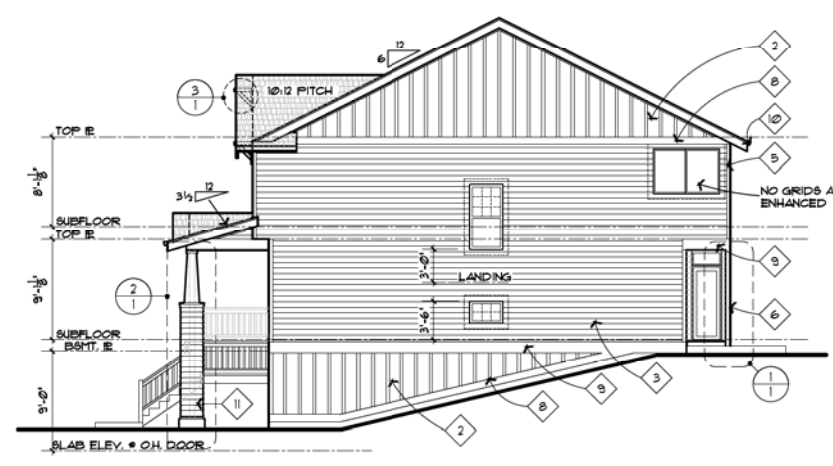
REAR ELEVATION
1/8"=1'-0"



FRONT ELEVATION
1/4"=1'-0"



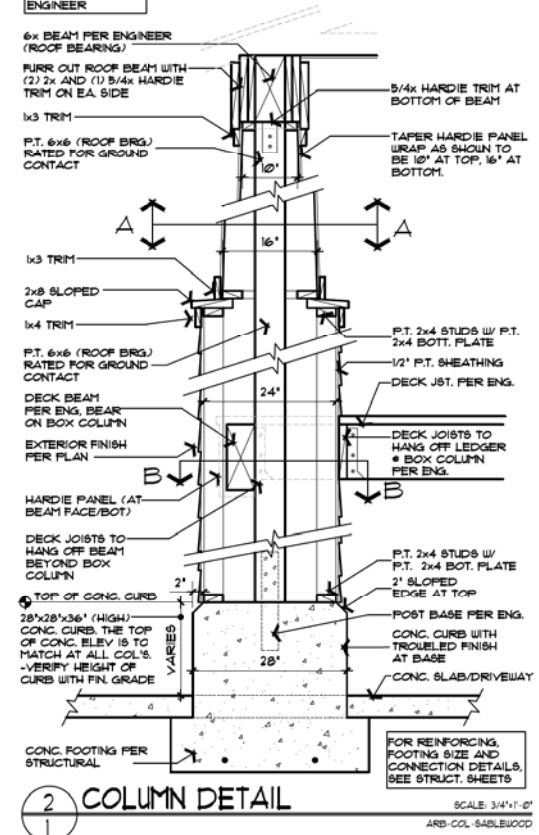
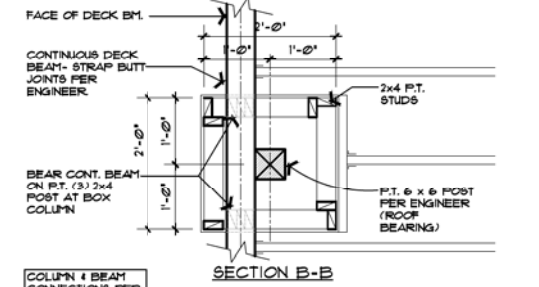
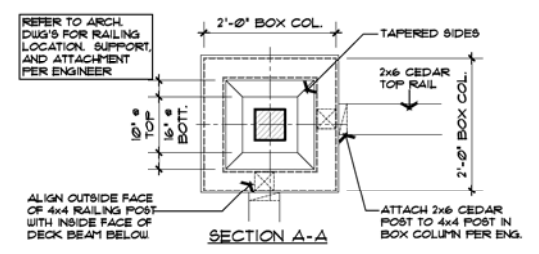
LEFT SIDE ELEVATION
1/8"=1'-0"



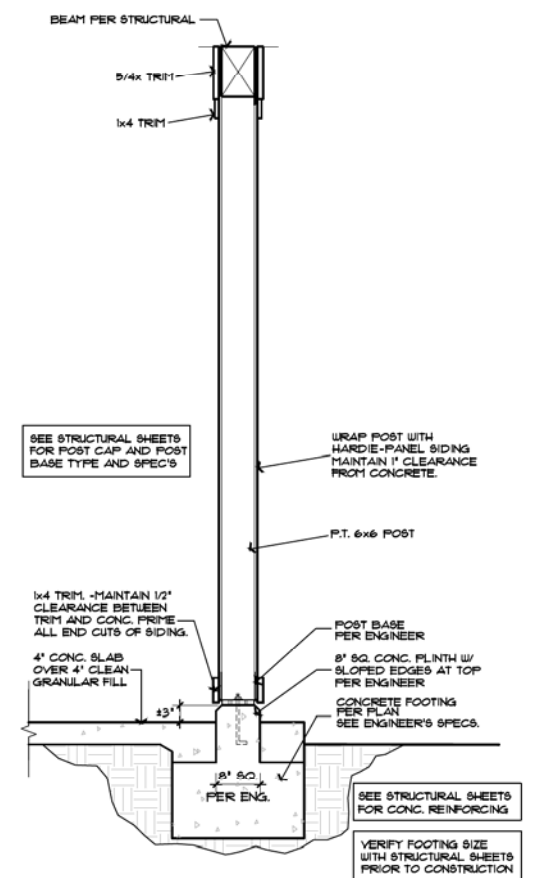
RIGHT SIDE ELEVATION
1/8"=1'-0"

GRIDS AND TRIM AT WINDOWS IN LAP SIDED AREAS * ENHANCED ELEVATION ONLY

- ELEVATION KEYNOTES**
1. ROOFING (TYPICAL): 30 YEAR FIBERGLASS COMPOSITION SHINGLES
 2. SIDING (ACCENT): HARDIE PANEL SIDING W/ 1x3 BATTENS AT 16" O.C.
 3. SIDING (TYPICAL): HORIZONTAL HARDIE-PLANK SIDING
 4. WINDOW & DOOR TRIM (TYPICAL): 5/4x6 NO WINDOW TRIM AT SIDES AND REAR LAP SIDED AREAS UNLESS ENHANCED.
 5. CORNER TRIM (TYPICAL): 5/4x4 AT LAP SIDING, 1x4 AT PANEL SIDING
 6. REAR EXTERIOR COLUMNS: P.T. 6x6 (RATED FOR BURIAL) POST WRAPPED WITH HARDIE PANEL.
 7. GARAGE DOOR TRIM SURROUND: 5/4 X 8 AT TOP, 5/4 X 6 AT SIDES
 8. HORIZONTAL TRIM: 5/4x6 W/ 'Z' FLASHING OVER TOP OF TRIM AND INTEGRATE WITH WRB.
 9. HORIZONTAL TRIM: 5/4x12 W/ 'Z' FLASHING OVER TOP OF TRIM AND INTEGRATE WITH WRB.
 10. GUTTERS (TYPICAL): SEE SPECIFICATIONS
 11. BOX COLUMNS PER DETAIL 2/1 - FINISH WITH HORIZONTAL HARDIE-PLANK LAP SIDING WITH METAL CORNERS.
 12. VERGE BOARD (FRONT): R5 1x3 TRIM ON 2x10 VERGE BOARD. PROVIDE 1/8" AT PANEL SIDING (SIDES). TRIM BOARD FLAT ON WALL AND BUTT TO UNDERSIDE OF ROOF SHEATHING FOLLOWING GABLE END VERGE BOARD
 13. SHUTTERS (TYPICAL): 24" WIDE AS SHOWN MATCH WINDOW HEIGHT



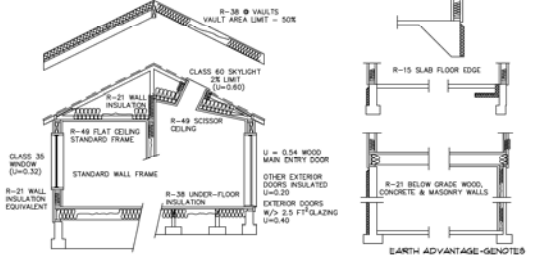
2 COLUMN DETAIL
SCALE: 3/4"=1'-0"
ARB-COL-64BLEWOOD



1 COLUMN DETAIL
SCALE: 1/2"=1'-0"
ARB-COL-5

- GENERAL NOTES AND SPECIFICATIONS**
- CONSTRUCTION SHALL FULLY COMPLY WITH THE CURRENT OREGON EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS (2011 EDITION OF THE IRC).
 - WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PLEASE NOTIFY THE ARCHITECTURAL TEAM OF ANY VARIATIONS FROM THESE DRAWINGS.
 - ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTURAL TEAM BEFORE PROCEEDING WITH WORK.
 - THESE DOCUMENTS ARE COPYRIGHT PROTECTED AND MAY NOT BE REPRODUCED, REDRAWN, TRACED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM WEST HILLS DEVELOPMENT.
 - INSTALL APPROVED FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
 - INSTALL WATERPROOF GYPSUM BOARD IN AND ABOVE ALL SHOWER AND TUB AREAS TO MINIMUM 1" ABOVE THE FLOOR.
 - EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS. PROVIDE MECHANICAL VENTILATION TO MAINTAIN 5 AIR CHANGES PER HOUR IN BATHS CONTAINING A TUB AND/OR SHOWER AND IN LAUNDRY ROOMS.
 - CONSULT THE CERTIFIED ENGINEER'S DRAWINGS FOR BEAM SIZES AND LATERAL ENGINEERING INFORMATION.
 - GAS FURNACE: 92% MIN. ARIE TO BE INSTALLED IN AN INSULATED, THERMALLY CONDITIONED SPACE WITH INSULATION INSTALLED IN WALL CAVITIES OF CLOSET.
 - ALL HVAC DUCTING TO BE INSTALLED IN AN INSULATED, CONDITIONED SPACE.

- RES CONSTRUCTION ENVELOPE STANDARDS:**
(MEETS OR EXCEEDS 2011 ORSC PRESCRIPTIVE ENVELOPE REQUIREMENTS) ADDITIONAL MEASURES CHOSEN:
- ENVELOPE ENHANCEMENT MEASURE 5:
 - A WHOLE BUILDING VENTILATION SYSTEM COMPLYING WITH TABLE N101(X)3
 - NO MORE THAN 60 AIR CHANGES/HOUR
 - CONSERVATION MEASURE 1A:
 - HIGH EFFICIENCY HVAC: 92% MIN. ARIE FURNACE



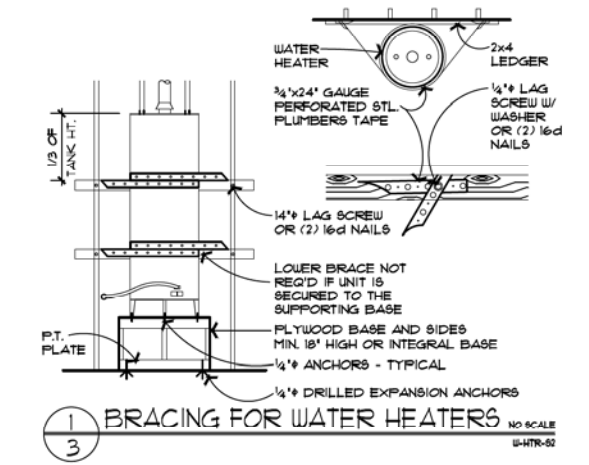


**ARBOR
CUSTOM HOMES**

735 S.W. 158TH AVENUE
BEAVERTON, OREGON 97006
PHONE (503) 641-7342
FAX (503) 641-7661

These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States Copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may lead to civil action or constitute a criminal offense.

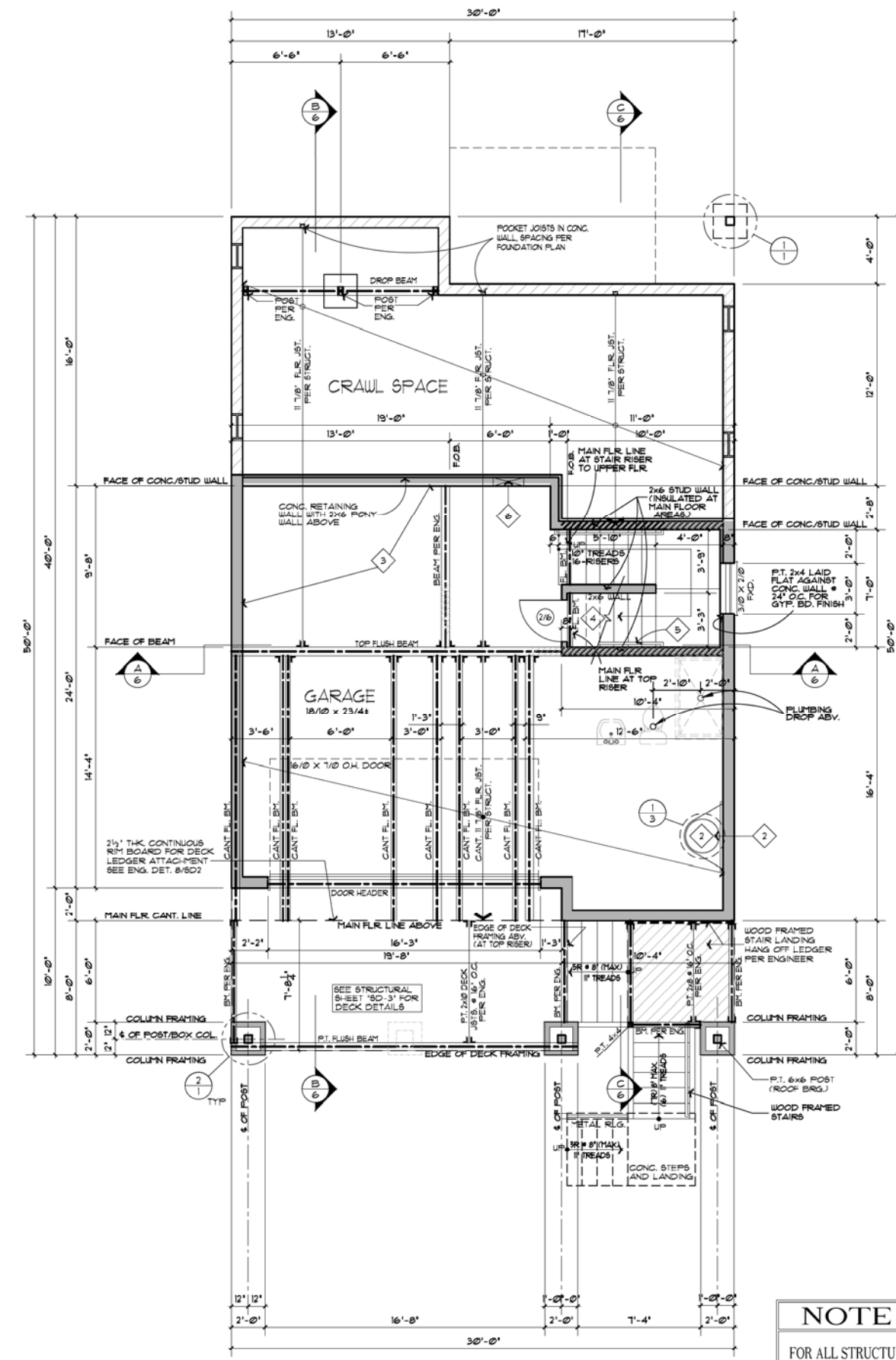
10/18/12 PRELIM W/ UPDATE DDR
10/22/12 FINAL CHK. STP
10/23/12 PUBLISH PLAN DDR
12/13/12 R400N DLOVER UPDT. DDR



BRACING FOR WATER HEATERS NO SCALE
S-WTR-02

LOWER FLOOR PLAN NOTES:
- INDICATES INTERIOR 2 x 6 BEARING WALLS
• PROVIDE FULL BEARING MINIMUM AT BEAM SUPPORTS (UNLESS NOTED OTHERWISE).
• PROVIDE 2x6 STUDS AT 16" O.C. WITH R-21 BATT INSULATION AT ALL EXTERIOR WALLS (EXCEPT AT GARAGE OR UNLESS NOTED OTHERWISE).

LOWER FLOOR PLAN KEYNOTES
1. NOT USED.
2. GAS WATER HEATER. ELEVATE PLATE 18" (MINIMUM) ABOVE SLAB. PROVIDE R-4 INSULATION AROUND WATER PIPES IN UNHEATED SPACES.
3. APPLY 1/2" GYPSUM BOARD TO ALL GARAGE WALLS AND 5/8" TYPE 'X' GYP. BOARD TO CEILING IN GARAGE BENEATH HABITABLE ROOMS, WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYP. BD.
4. APPLY 1/2" GYPSUM BOARD TO WALLS AND CEILING AT ENCLOSED USABLE SPACE UNDER STAIRS.
5. 34" HIGH CONTINUOUS TRADITIONAL HANDRAIL MOUNTED ON BRASS PLATED RAIL BRACKETS ON WALL. RETURN ENDS TO WALL OR NEVEL POST.
6. PROVIDE MINIMUM 18"x24" CRAWL SPACE ACCESS WITH AIR-TIGHT GASKET.



BASEMENT LEVEL FLOOR PLAN 1/4" = 1'-0"
SHOWING MAIN FLOOR FRAMING

NOTE:
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

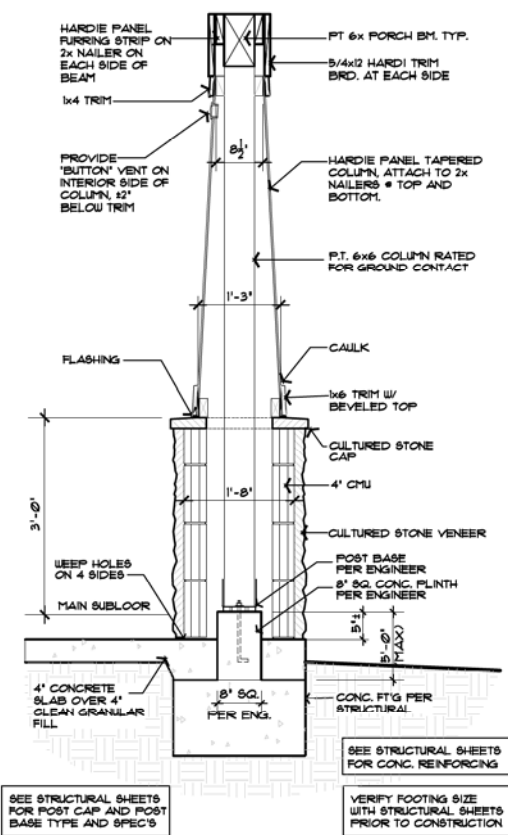
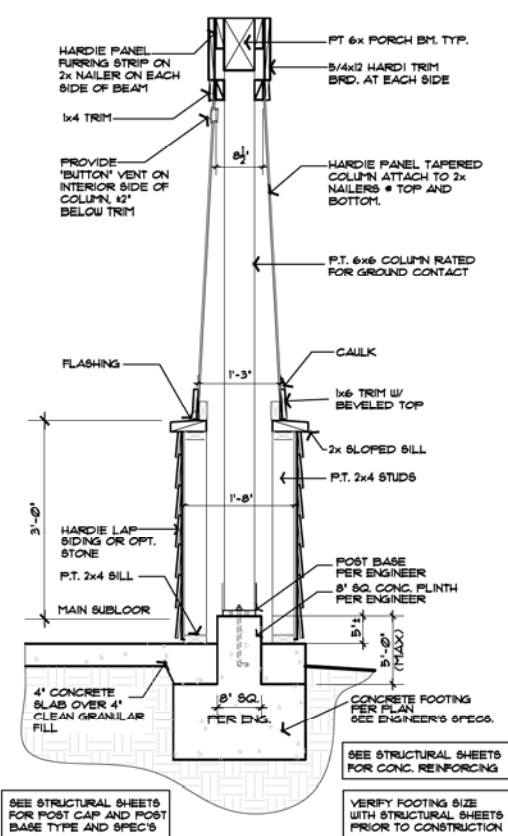
**PLAN 2477G
BRIARWOOD
AMERICAN
GARAGE LEFT**

MAIN LEVEL: 1,082 SQ FT
UPPER LEVEL: 1,298 SQ FT
GRAND TOTAL: 2,480 SQ FT
GARAGE: 636 SQ FT

3 Sheet 29
CHALET COTTAGES
BRIARWOOD

These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may lead to civil action or constitute a criminal offense.

1/25/13 NEW PLAN PRELIM JUG
2/1/13 BY CHECKSHEET JUG
2/1/13 GAR. PORTAL/WALL SHIFT JUG



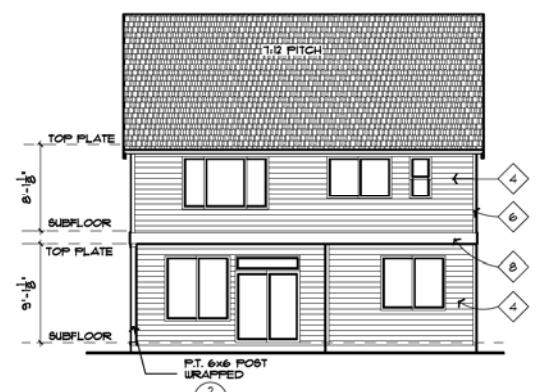
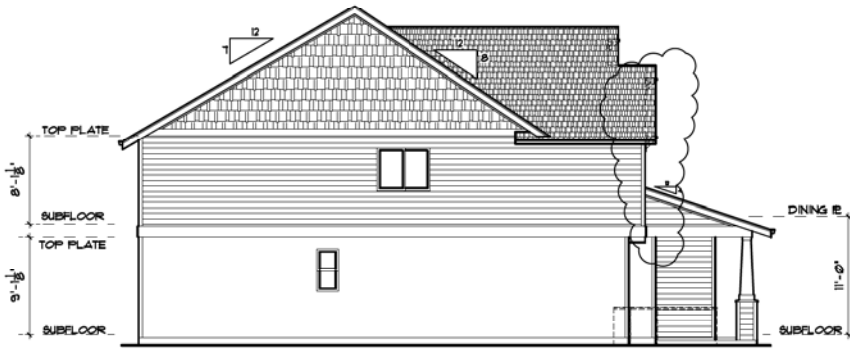
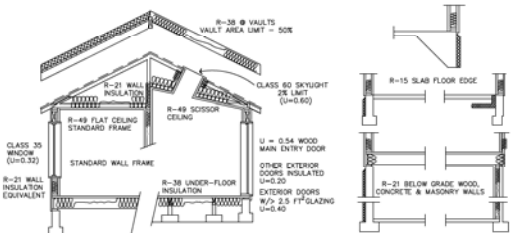
GENERAL NOTES AND SPECIFICATIONS

- CONSTRUCTION SHALL FULLY COMPLY WITH THE CURRENT OREGON EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS (2014 EDITION OF THE ORSC).
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PLEASE NOTIFY THE ARCHITECTURAL TEAM OF ANY VARIATIONS FROM THESE DRAWINGS.
- ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTURAL TEAM BEFORE PROCEEDING WITH WORK.
- THESE DOCUMENTS ARE COPYRIGHT PROTECTED AND MAY NOT BE REPRODUCED, REDRAWN, TRACED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM WEST HILLS DEVELOPMENT.
- INSTALL APPROVED FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
- INSTALL WATERPROOF GYPSUM BOARD IN AND ABOVE ALL SHOWER AND TUB AREAS TO MINIMUM 12" ABOVE THE FLOOR.
- EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS. BATHROOMS CONTAINING A SHOWER OR BATHTUB MUST HAVE A FAN CAPABLE OF 80 CFM CONTROLLED BY A DE-HUMIDISTAT, THERM OR OTHER SIMILAR MEANS OF CONTROL. CONSULT THE CERTIFIED ENGINEER'S DRAWINGS FOR BEAM SIZES AND LATERAL ENGINEERING INFORMATION.
- GAS FURNACE 90% MIN. AFUE TO BE INSTALLED IN AN INSULATED, THERMALLY CONDITIONED SPACE WITH INSULATION INSTALLED IN WALL CAVITIES OF CLOSET.
- ALL HVAC DUCTING TO BE INSTALLED IN AN INSULATED, CONDITIONED SPACE.
- ALL EXTERIOR CUT SURFACES TO BE PRIMED.
- REFER TO ARBOR ROOF AND WINDOW INSTALLATION MANUALS FOR ROOFING, FLASHING, AND INSTALLATION STANDARDS.

RES CONSTRUCTION ENVELOPE STANDARDS:
(MEETS OR EXCEEDS THE 2014 EDITION OF THE ORSC PRESCRIPTIVE ENVELOPE REQUIREMENTS)

ADDITIONAL MEASURES CHOSEN:

- ENVELOPE ENHANCEMENT MEASURE (E):
 - A WHOLE BUILDING VENTILATION SYSTEM COMPLYING WITH TABLE N10L(1)(3)
 - TESTED WITH A BLOWER DOOR AND FOUND TO EXHIBIT NO MORE THAN:
 - 6.0 AIR CHANGES/HOUR AND
 - PERFORMANCE TESTED DUCT SYSTEMS
- CONSERVATION MEASURE (A):
 - HIGH EFFICIENCY HVAC SYSTEM: 90% MIN. AFUE FURNACE



NOTE:
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

**PLAN 2386
WATERTON
AMERICAN
GARAGE LEFT**

MAIN LEVEL: 1,022 SQ FT
UPPER LEVEL: 1,350 SQ FT
GRAND TOTAL: 2,380 SQ FT
GARAGE: 400 SQ FT

These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may lead to civil action or constitute a criminal offense.

1/25/13 NEW PLAN PRELIM JJS
2/1/13 BY CHECKSHEET JJS
2/1/13 GAR. PORTAL/WALL SHIFT JJS

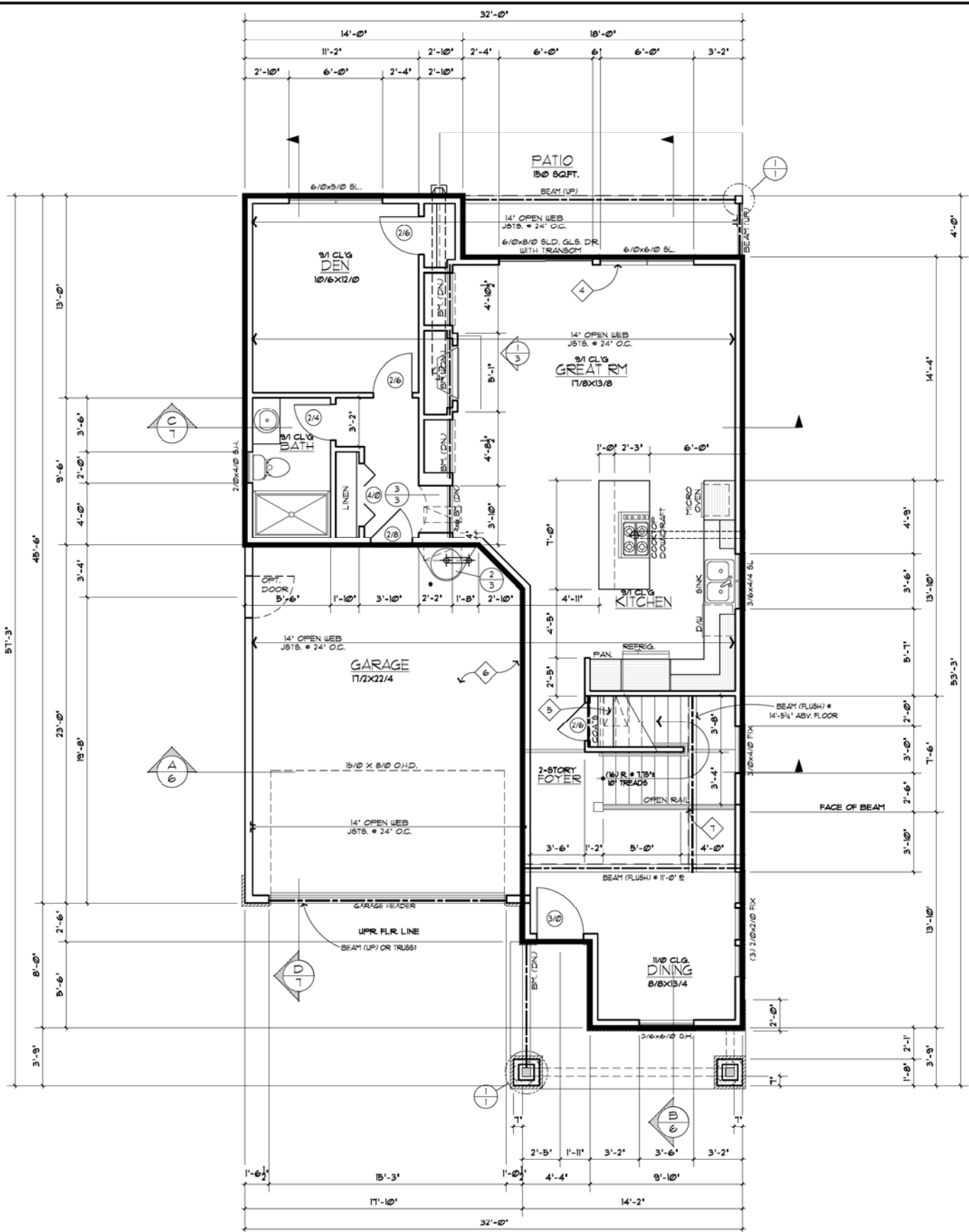
**PLAN 2386
WATERTON
AMERICAN
GARAGE LEFT**

MAIN LEVEL: 1,022 SQ FT
UPPER LEVEL: 1,358 SQ FT
GRAND TOTAL: 2,380 SQ FT

GARAGE: 400 SQ FT

3 Sheet 31

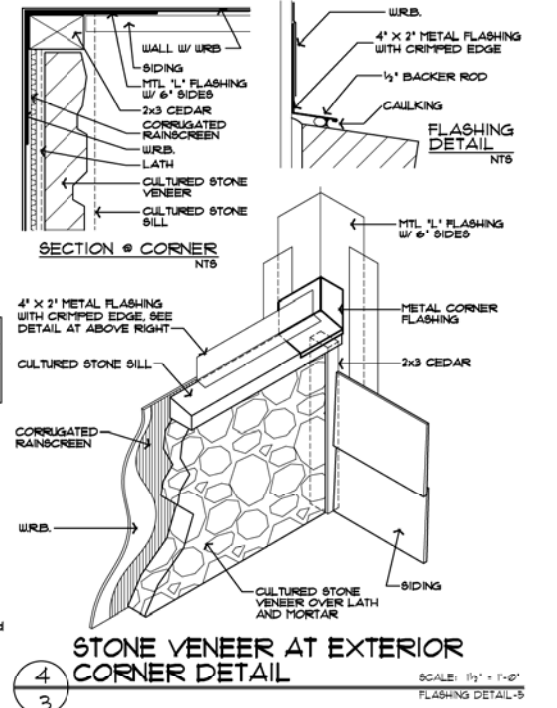
SUPER COTTAGE ENGLISH



MAIN FLOOR PLAN

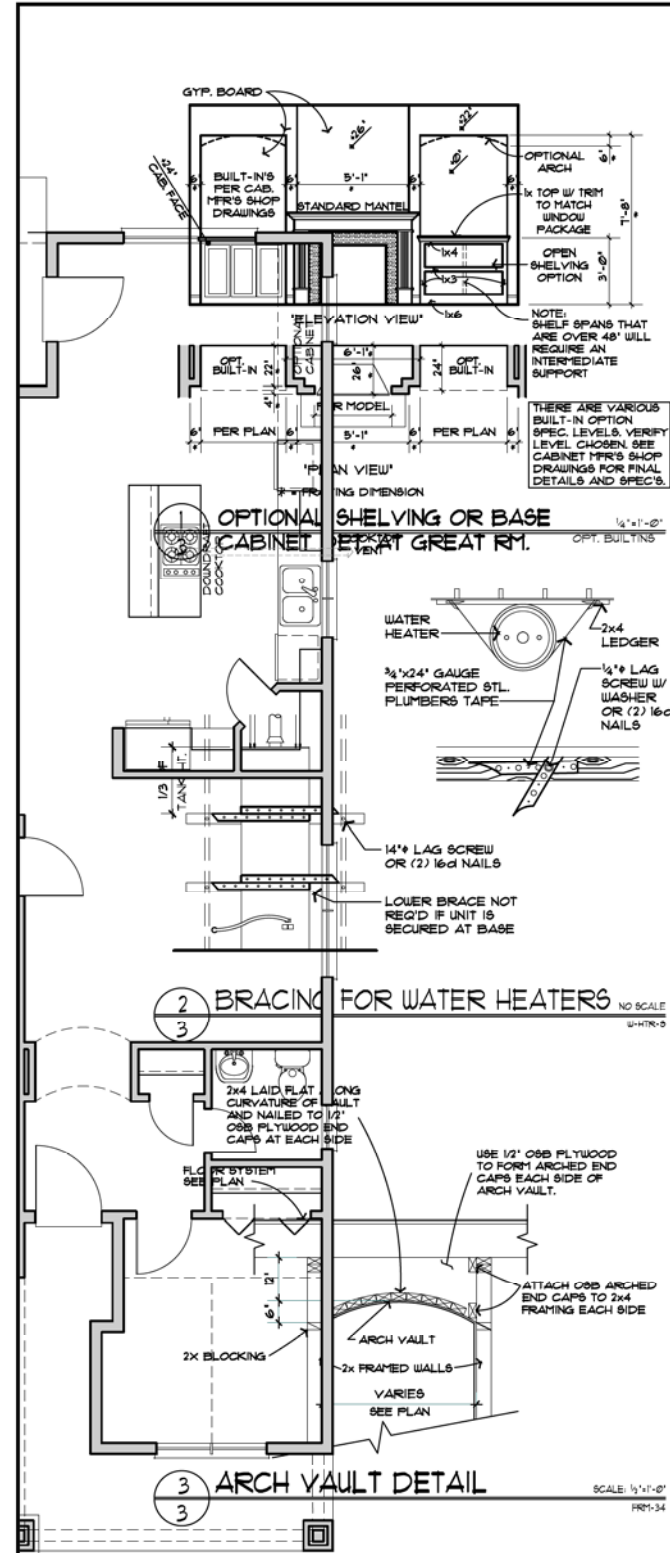
- FLOOR PLAN NOTES:**
- 1. PROVIDE FULL BEARING, MINIMUM AT BEAM SUPPORTS (UNLESS NOTED OTHERWISE).
 - 2. PROVIDE AT ALL EXTERIOR DOOR AND WINDOW HEADERS (PER STRUCTURAL) DOUBLE 2x6 TOP PLATES AND BLOCKING AT BOTTOM (UNLESS NOTED OTHERWISE). INSTALL RIGID INSULATION IN CAVITY.
 - 3. PROVIDE 2x6 STUDS AT 16" O.C. WITH R-21 BATT INSULATION AT ALL EXTERIOR WALLS (NO INSULATION AT EXTERIOR GARAGE WALLS UNLESS NOTED OTHERWISE).
 - 4. PROVIDE 2x4 STUDS AT 16" O.C. AT ALL INTERIOR WALLS UNLESS NOTED OTHERWISE.
 - 5. ALL WINDOWS AND GLASS DOORS TO BE VINYL, SASH CLASS 35 UNLESS NOTED OTHERWISE.
 - 6. APPLY ACOUSTIC SEALANT AT THE TOP & BOTTOM OF ALL WALLS.
 - 7. ALL EXTERIOR DOORS TO BE INSTALLED WITH PAN FLASHING.
 - 8. MAINTAIN MINIMUM OF 36" CLEARANCE BETWEEN VENTS AND WINDOW OPENINGS.

NOTE:
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS



STONE VENEER AT EXTERIOR CORNER DETAIL
SCALE: 1/4" = 1'-0"
FLASHING DETAIL-5

- MAIN LEVEL FLOOR PLAN KEYNOTES**
1. MANUFACTURED DIRECT VENT, GAS, UL LISTED METAL FIRE PLACE. INSTALL ACCORDING TO MANUFACTURER'S SPECIFICATIONS. INSTALL 18" WIDE HEARTH AS SHOWN.
 2. NOT USED.
 3. GAS WATER HEATER. ELEVATE FLAME 18" (MINIMUM) ABOVE FLOOR. PROVIDE R-4 INSULATION AROUND WATER PIPES IN UNHEATED SPACES.
 4. ADJUST HEIGHT OF WINDOW ROUGH OPENINGS WITH DOOR ROUGH OPENINGS SO THAT CASING AT WINDOW HEAD WILL ALIGN WITH CASING AT DOOR HEAD.
 5. PROVIDE MINIMUM 18"x24" CRAWL SPACE ACCESS WITH AIR-TIGHT GASKET.
 6. APPLY 1/2" GYPSUM BOARD TO ALL GARAGE WALLS AND 5/8" TYPE 'X' GYP. BOARD TO CEILING IN GARAGE BENEATH HABITABLE ROOMS. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYP. BD.
 7. 36" HIGH GUARDRAIL. RETURN ENDS TO WALL OR NEEL POST. INSTALL EQUALLY SPACED BALUSTERS (4" O.C. MAX.) ON CURB WALL EXTENDING 3' ABOVE STAIR NOSING.
 8. 34" HIGH CONTINUOUS HANDRAIL MOUNTED ON BRASS PLATED RAIL BRACKETS ON WALL. RETURN ENDS TO WALL OR NEEL POST.
 9. APPLY 1/2" GYPSUM BOARD TO WALLS AND CEILING AT ENCLOSED USABLE SPACE UNDER STAIRS.
 10. SOFFITS & COVERED AREAS (TYP. 'HARDIE PANEL' WITH HARDIE TRIM BATTENS AT EACH JOINT ON TRUSS BOTTOM CHORD OR FLOOR JOISTS. CAULK JOINTS.



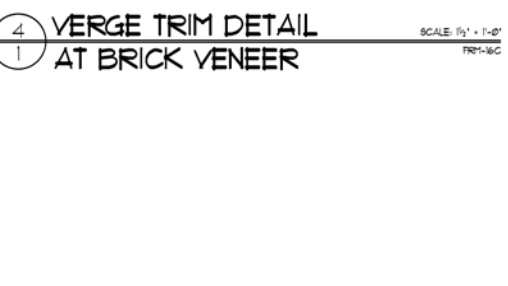
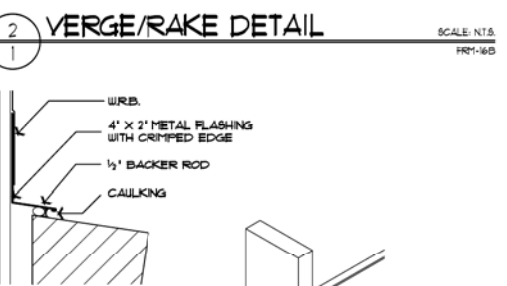
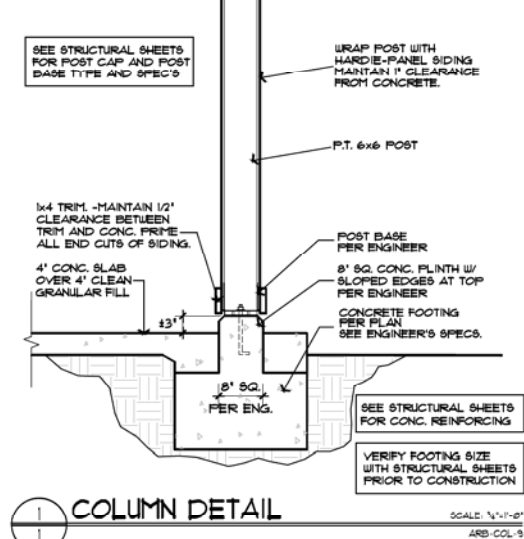
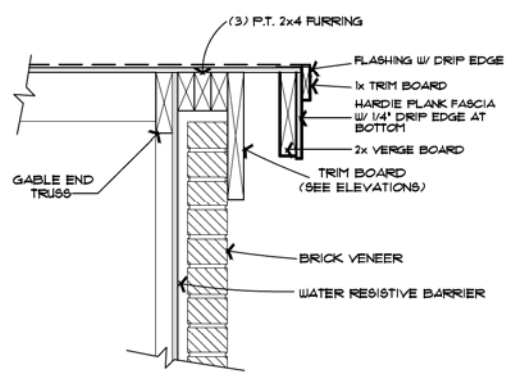
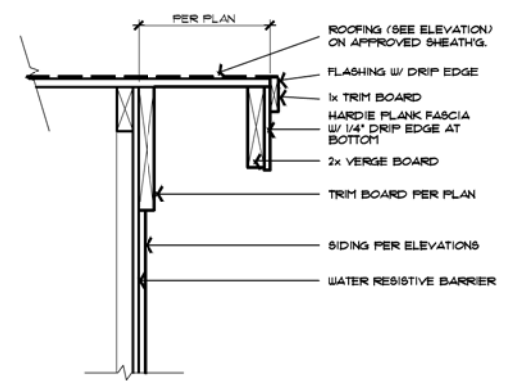
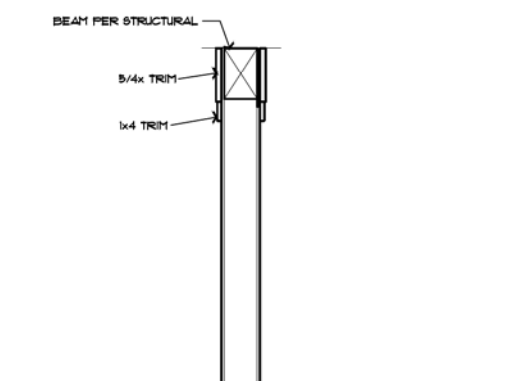
BRACING FOR WATER HEATERS
NO SCALE
WHTR-0

ARCH VAULT DETAIL
SCALE: 1/4" = 1'-0"
RR-34

These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States Copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting the rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may result in civil action or constitute a criminal offense.

12/8/13 NEW PLAN PRELIM JUG
2/1/13 1ST CHECKSET JUG
2/7/13 GAR. PORTAL WALL SHIFT JUG
2/22/13 PRELIM ENGINEERING JUG
2/26/13 HP ROOF/GARAGE STRETCH JUG
9/26/13 ENGINEERING UPDATES JUG
10/1/13 UPDATES & FINAL CHK SET DDR
10/22/13 PUBLISH PLAN DDR
12/1/13 PLAN CHANGE (PCN) DDR

12/1/13 GREAT RM LIGHTING AND DEN ATTIC ACCESS UPDATE DDR
6/7/14 KIT ISLAND SHANK & FOR HOOD CLEARANCE W/ DRAG TRUSS DDR
10/11/14 2014 DECO SPEC UPDT DDR



GENERAL NOTES AND SPECIFICATIONS

- CONSTRUCTION SHALL FULLY COMPLY WITH THE CURRENT OREGON EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS (2011 EDITION W/ 2014 AMENDMENTS) OR THE ORSC.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PLEASE NOTIFY THE ARCHITECTURAL TEAM OF ANY VARIATIONS FROM THESE DRAWINGS.
- ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTURAL TEAM BEFORE PROCEEDING WITH WORK. THESE DOCUMENTS ARE COPYRIGHT PROTECTED AND MAY NOT BE REUSED, REDRAWN, TRACED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM WEST HILLS DEVELOPMENT.
- INSTALL APPROVED FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
- INSTALL WATERPROOF GYPSUM BOARD IN AND ABOVE ALL SHOWER AND TUB AREAS TO MINIMUM 2" ABOVE THE FLOOR.
- EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS. BATHROOMS CONTAINING A SHOWER OR BATHTUB MUST HAVE A FAN CAPABLE OF 80 CFM CONTROLLED BY A DE-HUMIDISTAT, THERM OR OTHER SIMILAR MEANS OF CONTROL. CONSULT THE CERTIFIED ENGINEER'S DRAWINGS FOR BEAM SIZES AND LATERAL ENGINEERING INFORMATION.
- GAS FURNACE: 90% MIN. AFUE TO BE INSTALLED IN AN INSULATED, THERMALLY CONDITIONED SPACE WITH INSULATION INSTALLED IN WALL CAVITIES OF CLOSET.
- ALL HVAC DUCTING TO BE INSTALLED IN AN INSULATED, CONDITIONED SPACE.
- ALL EXTERIOR CUT SURFACES TO BE PRIMED.
- REFER TO ARBOR ROOF AND WINDOW INSTALLATION MANUALS FOR ROOFING, FLASHING, AND INSTALLATION STANDARDS.

RES CONSTRUCTION ENVELOPE STANDARDS:
(MEETS OR EXCEEDS THE 2011 EDITION W/ 2014 AMENDMENTS OF THE ORSC PRESCRIPTIVE ENVELOPE REQUIREMENTS)

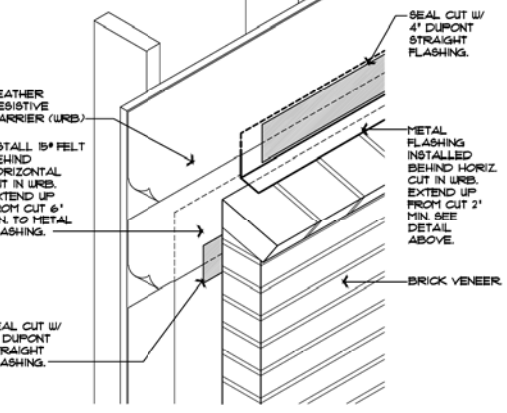
ADDITIONAL MEASURES CHOSEN:

ENVELOPE ENHANCEMENT MEASURE 5:

- A WHOLE BUILDING VENTILATION SYSTEM COMPLYING WITH TABLE N101.1(3)
- TESTED WITH A BLOWER DOOR AND FOUND TO EXHIBIT NO MORE THAN:
 - 6.0 AIR CHANGES/HOUR AND
 - PERFORMANCE TESTED DUCT SYSTEMS

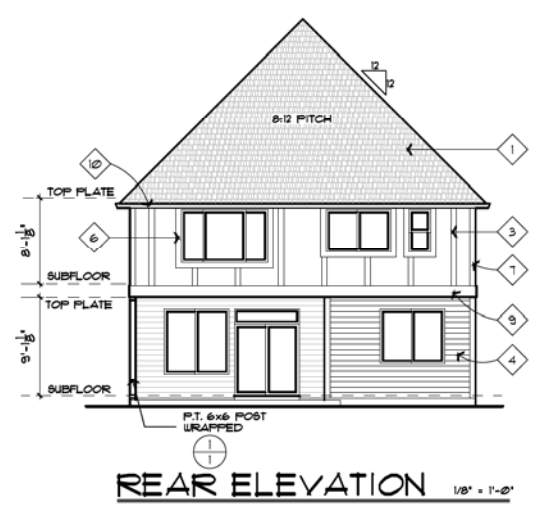
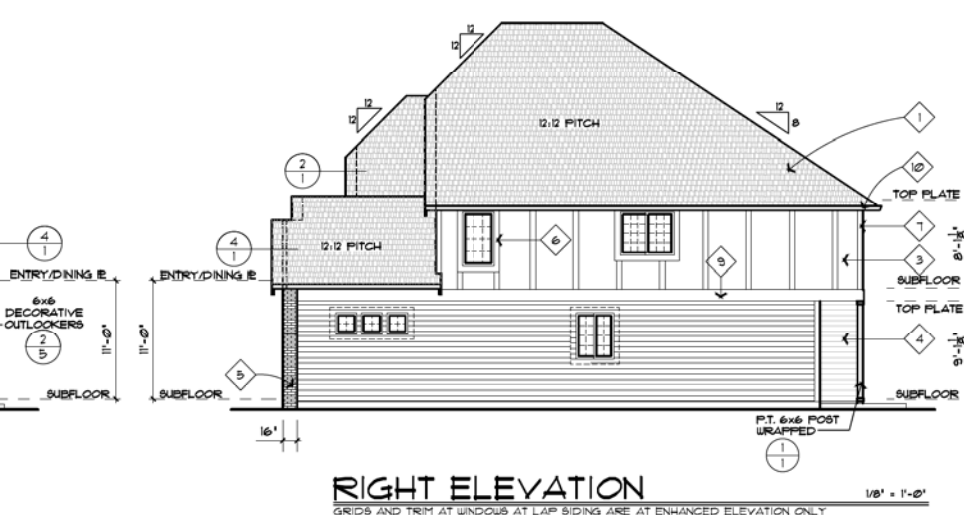
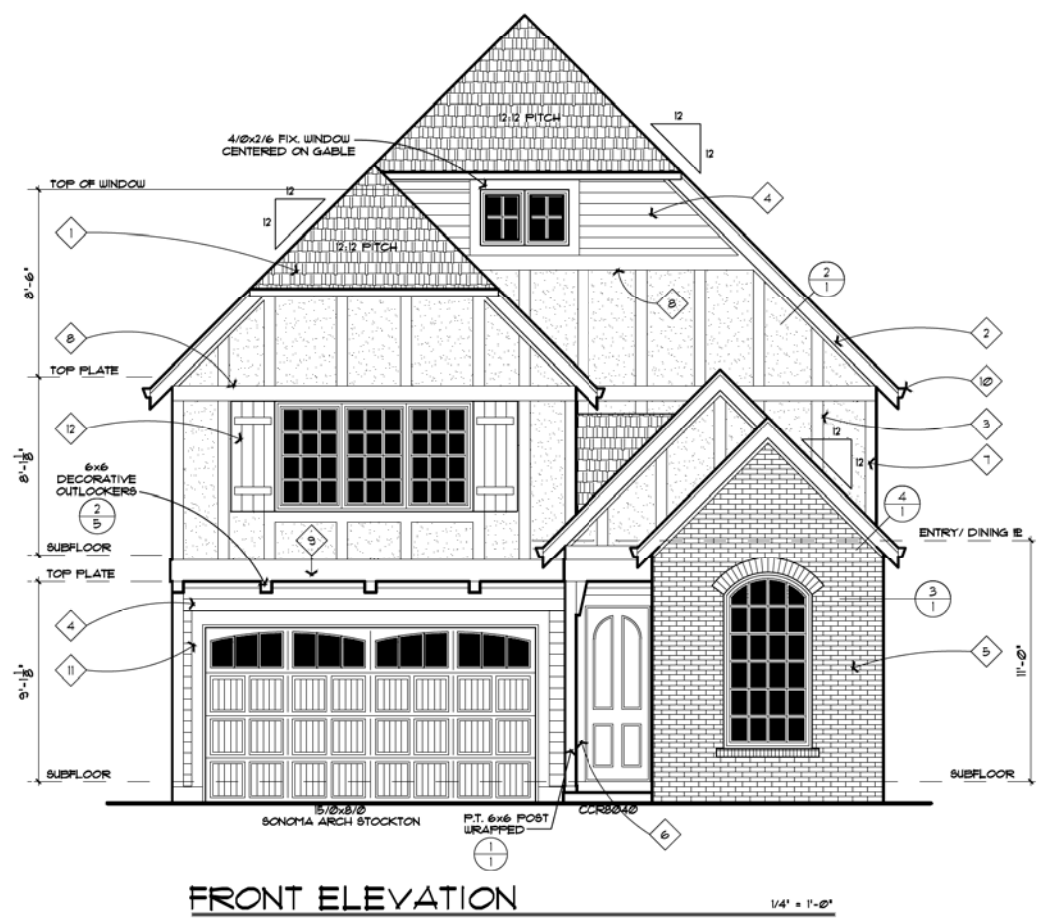
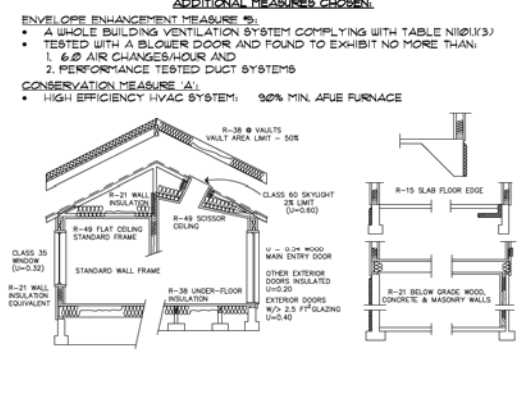
CONSERVATION MEASURE 4:

- HIGH EFFICIENCY HVAC SYSTEM: 90% MIN. AFUE FURNACE



EURO ENGLISH ELEVATION KEYNOTES

- ROOFING (TYPICAL): 30 YEAR HEAVY WEIGHT FIBERGLASS COMPOSITION ROOFING.
- VERGE BOARD TYPICAL: R5 1x2 TRIM ON 2x8 VERGE BOARD. PROVIDE 5/4x8 (# SHINGLES AND LAP SIDING) OR 1x8 (# PANEL SIDING) TRIM BOARD FLAT ON WALL AND BUTT TO UNDERSIDE OF ROOF SHEATHING FOLLOWING GABLE END VERGE BOARD.
- SIDING (WHERE SHOWN): HARDIE STUCCO BRD. SIDING W/ 1/6 BATTENS SPACED AS SHOWN ADJACENT TO WINDOWS & AT 48" O.C. OPEN RUNS.
- SIDING (TYPICAL): HARDIE PLANK LAP SIDING.
- VENEER (TYPICAL): 4" BRICK VENEER WITH MASONRY TIES. AT 16" O.C. EACH WAY AND HORIZONTAL NO. 9 WIRES CONTINUOUS AT 12" O.C. EXTEND VENEER UP WALL AS SHOWN. PROVIDE SLOPING ROWLOCK COURSE AT WINDOW SILLS.
- WINDOW & DOOR TRIM: 5/4 x 6 TRIM AT PANEL SIDING (NO TRIM AT LAP SIDING EXCEPT AT ENHANCED ELEVATION 4 AT FRONT ELEVATION AS SHOWN FLASH ABOVE ALL HORIZONTAL TRIM).
- CORNER TRIM (TYPICAL): 5/4 x 6 TRIM AT LAP SIDING AND 1x6 AT PANEL SIDING.
- HORIZONTAL TRIM: 5/4 x 8 W/ 26 GA. Z' FLASHING OVER TOP AND INTEGRATED W/ WRB.
- HORIZONTAL TRIM: 5/4x12 WITH 20 GA. Z' FLASHING OVER TOP AND INTEGRATED W/ WRB.
- GUTTERS (TYP. UNO.): 6" FASCIA STYLE, 26 GA. STEEL GUTTER WITH 2x3" STEEL DOWNSPOUTS. ALL GUTTERS TO BE SPIKED A MIN. OF 24" O.C. ALL JOINTS TO BE SCREWED AND SEALED WITH 'ALOCO' GUTTER SEAL OR EQUIV. CONNECT ALL DOWNSPOUTS TO RAIN DRAINS WHERE PROVIDED.
- GARAGE DOOR TRIM SURROUND: 5/4 x 8 AT TOP, 5/4 x 6 AT SIDES
- SHUTTERS (TYPICAL): 24" WIDE AS SHOWN. MATCH WINDOW HEIGHT



NOTE :
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

PLAN 2386
WATERTON EURO
ENGLISH
GARAGE LEFT

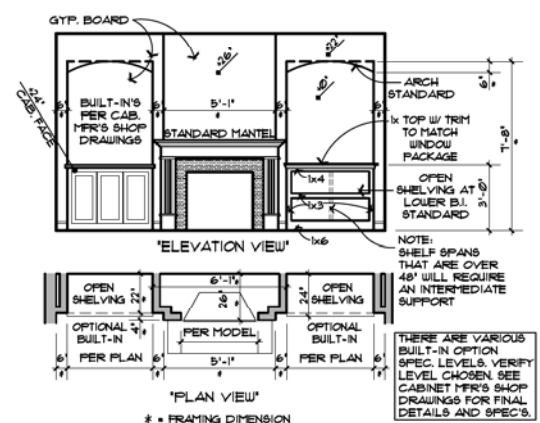
MAIN LEVEL: 1,023 SQ FT
UPPER LEVEL: 1,386 SQ FT
GRAND TOTAL: 2,409 SQ FT

GARAGE: 406 SQ FT

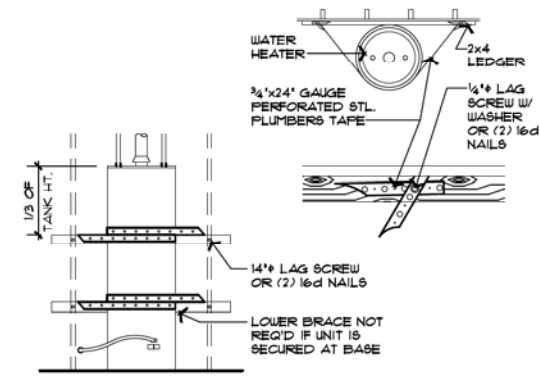
Sheet 32
SUPER COTTAGE
EURO

These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company and may not be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may result in civil action or constitute a criminal offense.

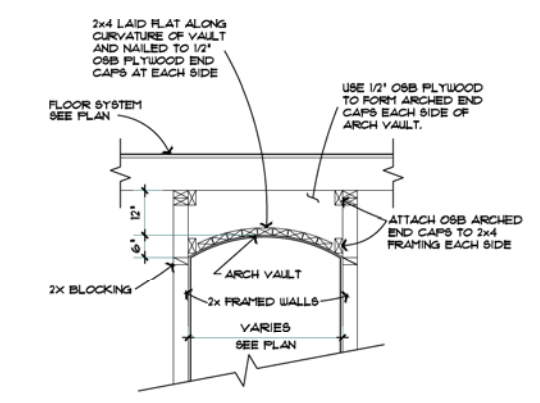
12/13 NEW PLAN PRELIM	JUG
2/13 1ST CHECKSET	JUG
2/13 GAR. PORTAL/WALL SHIF	JUG
2/22/13 PRELIM ENGINEERING	JUG
2/26/13 HP ROOF/GARAGE STRETCH	JUG
9/26/13 ENGINEERING UPDATES	JUG
9/26/13 2013 'A' UPDATES	DDR
10/13 UPDATES & FINAL CHK STP.	DDR
10/22/13 PUBLISH PLAN	DDR
12/13 PLAN CHANGE (PC)	DDR
02/13 GREAT RM LIGHTING AND DEN	DDR
ATTIC ACCESS UPDATE	DDR
6/15/14 KIT ISLAND SHANK 6" FOR HOOD	DDR
CLEARANCE W/ DRAG TRUSS	DDR
10/11/14 2014 DECO SPEC UPDT	DDR



1 OPTIONAL SHELVING OR BASE
3 CABINET DET. AT GREAT RM.

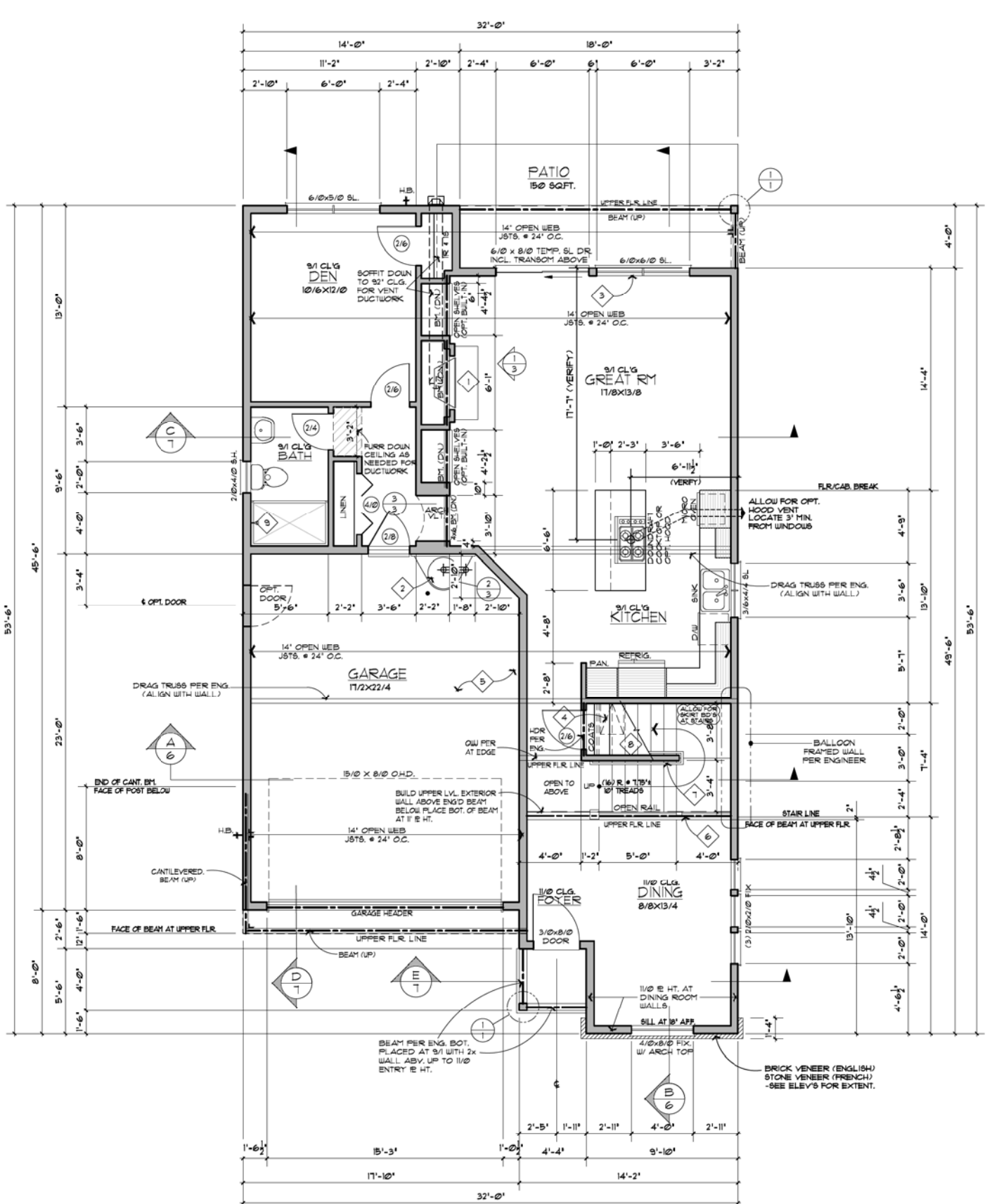


2 BRACING FOR WATER HEATERS
NO SCALE
W-HTR-5



3 ARCH VAULT DETAIL
SCALE: 1/4" = 1'-0"
FR1-34

- MAIN FLOOR PLAN KEYNOTES**
- MANUFACTURED DIRECT VENT, GAS, UL LISTED METAL FIREPLACE. INSTALL ACCORDING TO MANUFACTURER'S SPECIFICATIONS. INSTALL 18" WIDE FLUSH HEARTH AS SHOWN.
 - GAS WATER HEATER. ELEVATE FLAME 18" (MINIMUM) ABOVE SLAB. PROVIDE R-4 INSULATION AROUND WATER PIPES IN UNHEATED SPACES.
 - ADJUST HEIGHT OF WINDOW ROUGH OPENINGS WITH DOOR ROUGH OPENINGS SO THAT CASING AT WINDOW HEAD WILL ALIGN WITH CASING AT DOOR HEAD.
 - PROVIDE MINIMUM 18" x 24" CRAWL SPACE ACCESS WITH AIR-TIGHT GASKET.
 - APPLY 1/2" GYPSUM BOARD TO ALL GARAGE WALLS AND 5/8" TYPE 'X' GYP. BOARD TO CEILING IN GARAGE BENEATH HABITABLE ROOMS. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYP. BD.
 - 36" HIGH CONTINUOUS TRADITIONAL GUARDRAIL ON OPEN SIDE OF STAIR. RETURN ENDS TO WALL OR NEWEL POST. INSTALL EQUALLY SPACED BALUSTERS (4" O.C. MAX.) ON CURB WALL EXTENDING 3" ABOVE STAIR NOSING.
 - APPLY 1/2" GYPSUM BOARD TO WALLS AND CEILING AT ENCLOSED USABLE SPACE UNDER STAIRS.
 - INSTALL SLIDING TEMPERED GLASS DOOR AND PARTITION AT 36" x 60" FIBERGLASS SHOWER.



- FLOOR PLAN NOTES:**
- DIAGONAL HATCHING INDICATES INTERIOR BEARING WALLS.
 - PROVIDE FULL BEARING MINIMUM AT BEAM SUPPORTS (UNLESS NOTED OTHERWISE).
 - PROVIDE AT ALL EXTERIOR DOOR AND WINDOW HEADERS (PER STRUCTURAL) DOUBLE 2x6 TOP PLATES AND BLOORING AT BOTTOM (UNLESS NOTED OTHERWISE). INSTALL RIGID INSULATION IN CAVITY.
 - PROVIDE 2x6 STUDS AT 16" O.C. WITH R-7 BATT INSULATION AT ALL EXTERIOR WALLS (NO INSULATION AT EXTERIOR GARAGE WALLS UNLESS NOTED OTHERWISE).
 - PROVIDE 2x4 STUDS AT 16" O.C. AT ALL INTERIOR WALLS UNLESS NOTED OTHERWISE.
 - ALL WINDOWS AND GLASS DOORS TO BE VENT. SASH CLASS 38 UNLESS NOTED OTHERWISE.
 - APPLY ACOUSTIC SEALANT AT THE TOP & BOTTOM OF ALL WALLS.
 - ALL EXTERIOR DOORS TO BE INSTALLED WITH PAN FLASHING.
 - MAINTAIN MINIMUM OF 36" CLEARANCE BETWEEN VENTS AND WINDOW OPENINGS.

NOTE:
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

PLAN 2386
WATERTON EURO

GARAGE LEFT

MAIN LEVEL:	1,023 SQ FT
UPPER LEVEL:	1,386 SQ FT
GRAND TOTAL:	2,409 SQ FT

GARAGE: 406 SQ FT

These building plans are protected by United States Federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States Copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may result in civil action or constitute a criminal offense.

6/12/12 PRELIMINARY LAYOUT DDR
8/31/12 PRELIM. STP. CHK. DDR
12/13 PUBLISH PLAN DDR
1/16/13 PC1 BUNGALOW 910'S CLR
5/24/13 2013 'A' UPDATES DDR
10/18/13 DEN CEILING FRAMING CORRECTION DDR
1/19/13 PC2 SHORTEN DEN WALL 84G

- ### ELEVATION KEYNOTES
- ROOFING (TYPICAL): 30 YEAR HEAVY WEIGHT FIBERGLASS COMPOSITION ROOFING.
 - VERGE BOARD (TYPICAL): R5 1x3 TRIM ON 2x8 VERGE BOARD AT FRONT AND ENHANCED ELEVATION AND R5 1x2 TRIM ON 2x8 VERGE BOARD AT SIDES.
 - SHADOW BOARD (TYPICAL): 1x8 TRIM BOARD AT FRONT AND ENHANCED SIDE AND 1x3 AT SIDES OVER HARDIE-PANEL FLAT ON WALL AND BUTT TO UNDERSIDE OF ROOF SHEATHING.
 - SIDING (TYPICAL): HARDIE STUCCO BOARD SIDING W/ 1x3 BATTENS SPACED AT 16" O.C.
 - 4A. SIDING (TYP. FRONT GABLES): HARDIE-SHINGLE SIDING
 - SIDING (TYPICAL): HORIZONTAL HARDIE LAP SIDING.
 - WINDOW & DOOR TRIM: 5/4 x 6 TRIM AT PANEL SIDING (NO TRIM AT LAP SIDING EXCEPT AT ENHANCED ELEVATION).
 - CORNER TRIM (TYPICAL): 1x4 TRIM AT STUCCO BOARD SIDING AND 5/4x4 TRIM AT LAP SIDING.
 - HORIZONTAL TRIM: 5/4x2 WITH 26 GA. 2" FLASHING OVER TOP OF TRIM AND INTEGRATE W/ WRB.
 - HORIZONTAL TRIM: 5/4x6 WITH 26 GA. 2" FLASHING OVER TOP OF TRIM AND INTEGRATE W/ WRB.
 - HORIZONTAL TRIM: 5/4x6 WITH 26 GA. 2" FLASHING OVER TOP OF TRIM AND INTEGRATE W/ WRB.
 - GUTTERS (TYP-UNO.): 6" FASCIA STYLE, 26 GA. STEEL GUTTER WITH 2"x3" STEEL DOWNSPOUTS. ALL GUTTERS TO BE SPIKED A MIN. OF 24" O.C. ALL JOINTS TO BE SCREWED AND SEALED WITH 'ALCOGO' GUTTER SEAL OR EQUIV. CONNECT ALL DOWNSPOUTS TO RAIN DRAINS WHERE PROVIDED.
 - SHUTTERS (TYPICAL): 24" WIDE X WINDOW HEIGHT.
 - GARAGE DOOR TRIM: 5/4x8 AT HEAD AND 5/4x6 AT LEGS.



FRONT ELEVATION 1/4" = 1'-0"



LEFT ELEVATION 1/8" = 1'-0"



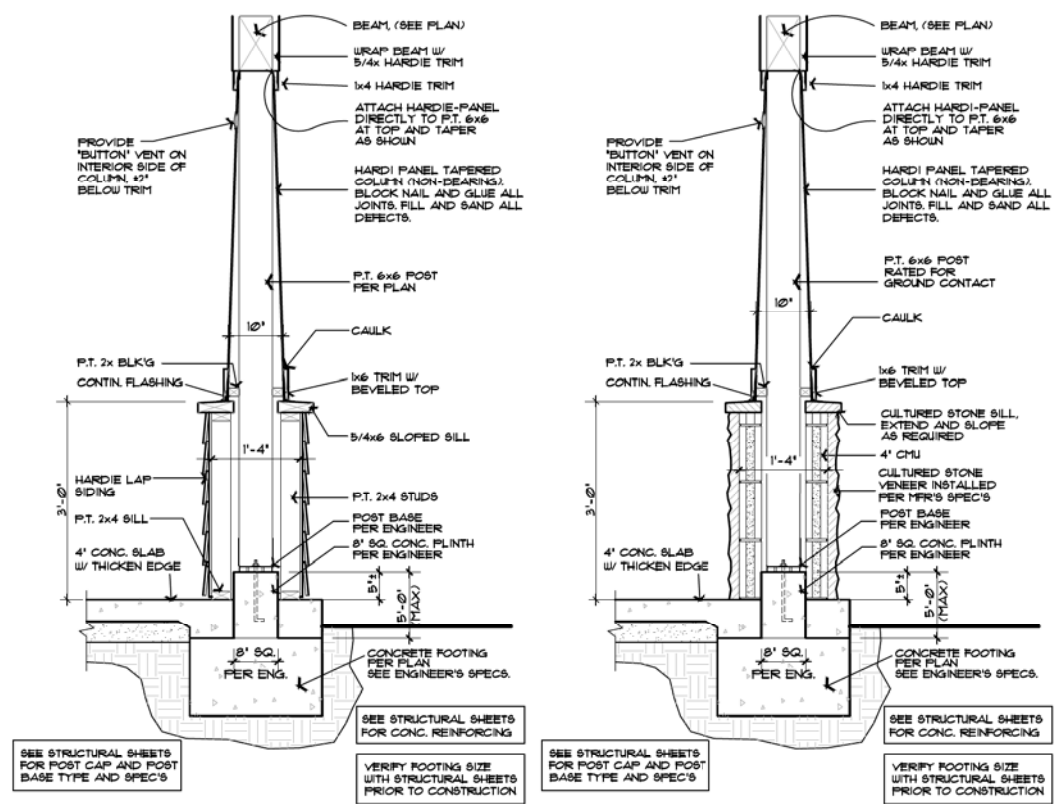
RIGHT ELEVATION 1/8" = 1'-0"



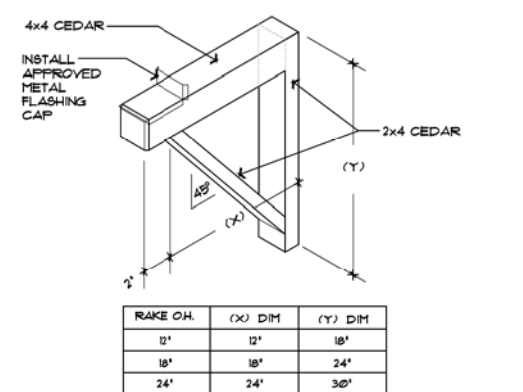
REAR ELEVATION 1/8" = 1'-0"



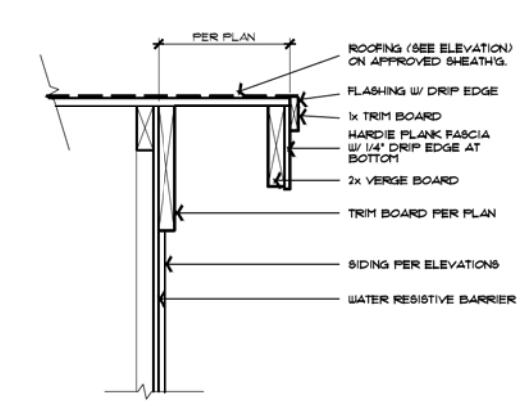
STONE OPTION 1/8" = 1'-0"



FRONT COLUMN DETAIL SCALE: 1/4" = 1'-0" ARB-COL-104



VERGE BOARD BRACE GABLE ANGLE BRACKET SCALE: NONE DRAGE



VERGE/RAKE DETAIL SCALE: N.T.S. FR1-165

GENERAL NOTES AND SPECIFICATIONS

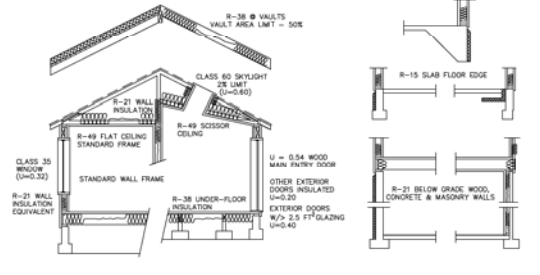
- CONSTRUCTION SHALL FULLY COMPLY WITH THE CURRENT OREGON EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS (2011 EDITION OF THE ORSC).
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PLEASE NOTIFY THE ARCHITECTURAL TEAM BEFORE PROCEEDING WITH WORK. THESE DOCUMENTS ARE COPYRIGHT PROTECTED AND MAY NOT BE REPRODUCED, REDRAWN, TRACED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM WEST HILLS DEVELOPMENT.
- ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTURAL TEAM BEFORE PROCEEDING WITH WORK.
- THESE DOCUMENTS ARE COPYRIGHT PROTECTED AND MAY NOT BE REPRODUCED, REDRAWN, TRACED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM WEST HILLS DEVELOPMENT.
- INSTALL APPROVED FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
- INSTALL WATERPROOF GYPSUM BOARD IN AND ABOVE ALL SHOWER AND TUB AREAS TO MINIMUM 12" ABOVE THE FLOOR.
- EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS. PROVIDE MECHANICAL VENTILATION TO MAINTAIN 3 AIR CHANGES PER HOUR IN BATHS CONTAINING A TUB AND/OR SHOWER AND IN LAUNDRY ROOMS.
- CONSULT THE CERTIFIED ENGINEER'S DRAWINGS FOR BEAM SIZES AND LATERAL ENGINEERING INFORMATION.
- GAS FURNACE: 92% MIN. AFUE TO BE INSTALLED IN AN INSULATED, THERMALLY CONDITIONED SPACE WITH INSULATION INSTALLED IN WALL CAVITIES OF CLOSET.
- ALL HVAC DUCTING TO BE INSTALLED IN AN INSULATED, CONDITIONED SPACE.
- ALL EXTERIOR CUT SURFACES TO BE PRIMED.
- REFER TO ARBOR ROOF AND WINDOW INSTALLATION MANUALS FOR ROOFING, FLASHING, AND INSTALLATION STANDARDS.

RES CONSTRUCTION ENVELOPE STANDARDS:

(MEETS OR EXCEEDS 2011 ORSC PRESCRIPTIVE ENVELOPE REQUIREMENTS)

ADDITIONAL MEASURES CHOSEN:

- A WHOLE BUILDING VENTILATION SYSTEM COMPLYING WITH TABLE N10(1)(3)
- NO MORE THAN 6 @ AIR CHANGES/HOUR CONSERVATION MEASURE 'A'
- HIGH EFFICIENCY HVAC: 92% MIN. AFUE FURNACE



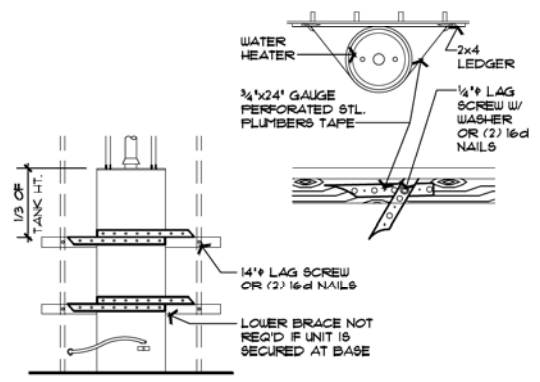
PLAN 2467 HAVERTON AMERICAN GARAGE LEFT

MAIN LEVEL: 1,029 SQ FT
UPPER LEVEL: 1,436 SQ FT
GRAND TOTAL: 2,465 SQ FT
GARAGE: 400 SQ FT

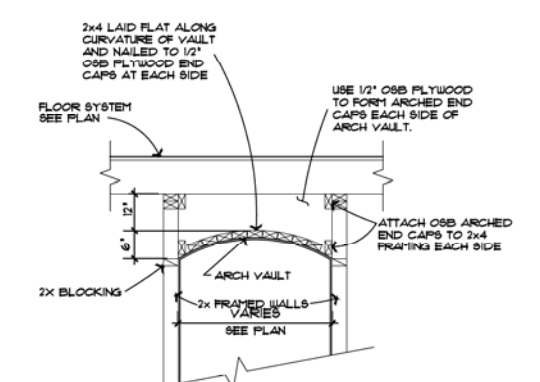
NOTE:
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

These building plans are protected by United States federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States copyright Act and federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may lead to civil action or constitute a criminal offense.

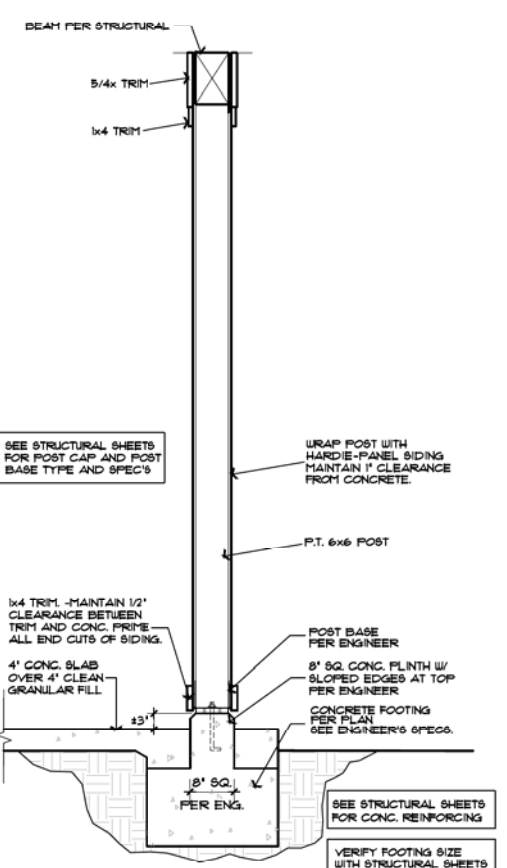
6/12/12 PRELIMINARY LAYOUT DDR
8/31/12 PRELIM. 5TH CHK. DDR
12/13 PUBLISH PLAN. DDR
1/16/13 PC-1 BUNGALOW 5TH DR. DDR
5/24/13 2013 'A' UPDATES DDR
10/16/13 DEN CEILING FRAMING CORRECTION DDR
11/19/13 PC-2 SHORTEN DEN WALL S4G



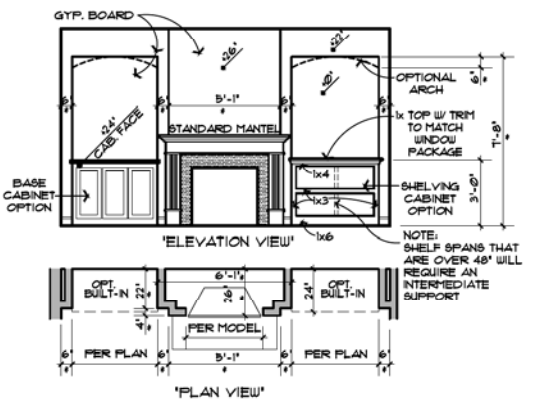
1 BRACING FOR WATER HEATERS NO SCALE
14-HTR-6



2 ARCH VAULT DETAIL SCALE: 1/4"=1'-0"
FRM-34



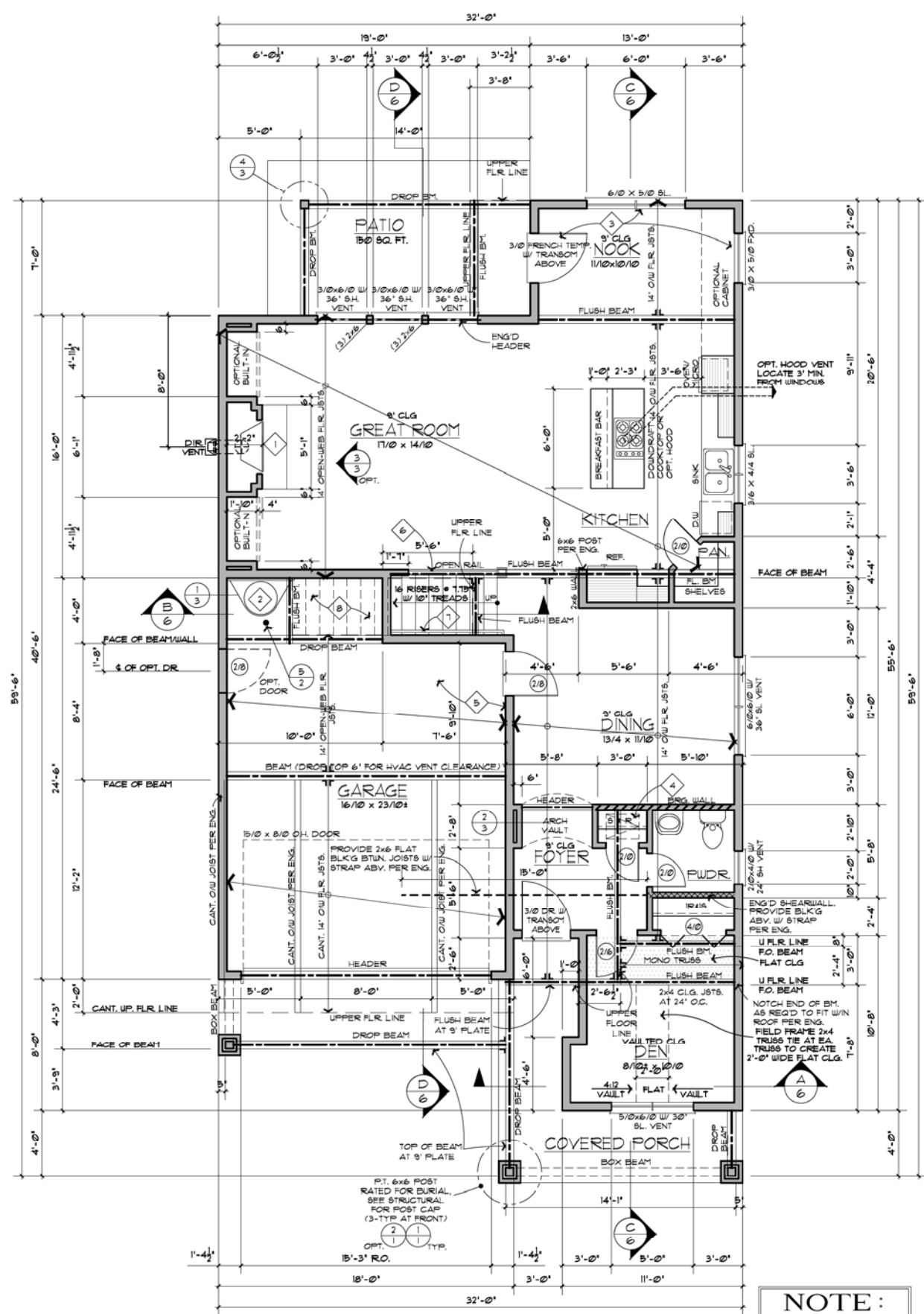
3 COLUMN DETAIL SCALE: 1/4"=1'-0"
ARB-COL-3



4 OPTIONAL SHELVING OR BASE CABINET DET. AT GREAT RM. 1/2"=1'-0"
OPT. BUILT-INS

- MAIN FLOOR PLAN KEYNOTES**
1. MANUFACTURED DIRECT VENT, GAS, UL LISTED METAL FIREPLACE. INSTALL ACCORDING TO MANUFACTURER'S SPECIFICATIONS. INSTALL 18" WIDE FLUSH HEARTH AS SHOWN.
 2. GAS WATER HEATER - ELEVATE FLAME 18" (MINIMUM) ABOVE SLAB. PROVIDE R-4 INSULATION AROUND WATER PIPES IN UNHEATED SPACES.
 3. ADJUST HEIGHT OF WINDOW ROUGH OPENINGS WITH DOOR ROUGH OPENINGS SO THAT CASING AT WINDOW HEAD WILL ALIGN WITH CASING AT DOOR HEAD.
 4. PROVIDE MINIMUM 18" X 24" CRAWL SPACE ACCESS WITH AIR-TIGHT GASKET.
 5. APPLY 1/2" GYPSUM BOARD TO ALL GARAGE WALLS AND 5/8" TYPE 'X' GYP. BOARD TO CEILING IN GARAGE BENEATH HABITABLE ROOMS. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYP. BD.
 6. 36" HIGH CONTINUOUS TRADITIONAL GUARDRAIL ON OPEN SIDE OF STAIR. RETURN ENDS TO WALL OR NEWEL POST. INSTALL EQUALLY SPACED BALUSTERS (4" O.C. MAX.) ON CURB WALL. EXTENDING 3" ABOVE STAIR NOSING.
 7. 34" HIGH CONTINUOUS TRADITIONAL HANDRAIL MOUNTED ON BRASS PLATED RAIL BRACKETS ON WALL. RETURN ENDS TO WALL OR NEWEL POST.
 8. APPLY FURRING TO BOTTOM OF STAIR STRINGERS IN GARAGE TO ALLOW FOR R-38 INSULATION.

- FLOOR PLAN NOTES:**
- 1. DASHED LINE INDICATES INTERIOR BEARING WALLS.
 - 2. PROVIDE RLL BEARING FINISH AT BEAM SUPPORTS (UNLESS NOTED OTHERWISE).
 - 3. PROVIDE AT ALL EXTERIOR DOOR AND WINDOW HEADERS (PER STRUCTURAL) DOUBLE 2x6 TOP PLATES AND BLOCKING AT BOTTOM (UNLESS NOTED OTHERWISE). INSTALL RIGID INSULATION IN CAVITY.
 - 4. PROVIDE 2x6 STUDS AT 6" O.C. WITH R-13 BATT INSULATION AT ALL EXTERIOR WALLS (NO INSULATION AT EXTERIOR GARAGE WALLS UNLESS NOTED OTHERWISE).
 - 5. PROVIDE 2x4 STUDS AT 16" O.C. AT ALL INTERIOR WALLS UNLESS NOTED OTHERWISE.
 - 6. ALL WINDOWS AND GLASS DOORS TO BE VINYL, 6MM GLASS UNLESS NOTED OTHERWISE.
 - 7. APPLY ACOUSTIC SEALANT AT THE TOP & BOTTOM OF ALL WALLS.
 - 8. ALL EXTERIOR DOORS TO BE INSTALLED WITH PAN FLASHING.
 - 9. MAINTAIN MINIMUM OF 3/4" CLEARANCE BETWEEN VENTS AND WINDOW OPENINGS.



MAIN FLOOR PLAN
SHOWING UPPER FLOOR FRAMING
1/4" = 1'-0"

NOTE:
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

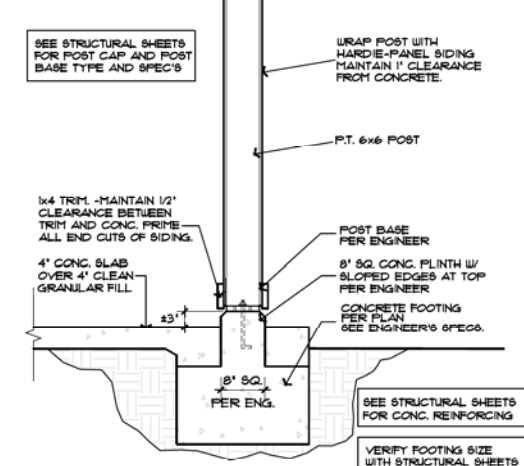
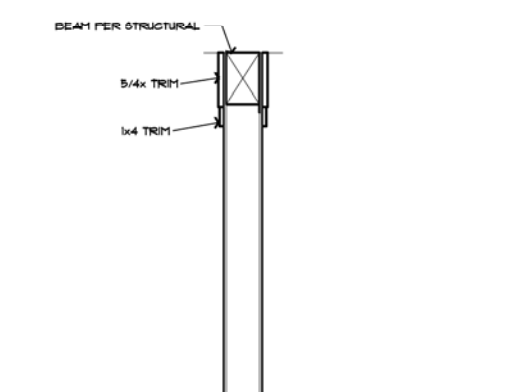
**PLAN 2467
HAVERTON
AMERICAN
GARAGE LEFT**

MAIN LEVEL: 1,029 SQ FT
UPPER LEVEL: 1,436 SQ FT
GRAND TOTAL: 2,465 SQ FT
GARAGE: 400 SQ FT

These building plans are protected by United States Federal and state copyright law. The copyright in these building plans is owned by West Hills Development Company. Pursuant to the United States Copyright Act and Federal and state copyright law, these plans, in any printed or electronic form, contain the copyright notice properly protecting all rights of West Hills Development Company. Except in accordance with the copyright law, no part of the building plans may be reproduced in any way without prior written consent of West Hills Development Company and may only be used for the construction of one residence and may not be used thereafter. Any infringement of the copyright of the building plans may lead to civil action or constitute a criminal offense.

10/13 PRELIMINARY LAYOUT DDR
9/24/13 2013 'A' UPDATES DDR
9/25/13 FINAL CHK 5/17 DDR
10/14/13 PUBLISH PLAN DDR

8/8/14 RE-DESIGN PLAN SHG
10/21/14 FC 2 IMPLEMENTED SHG
10/21/14 2014 DECO SPEC UPD15HG



GENERAL NOTES AND SPECIFICATIONS

- CONSTRUCTION SHALL FULLY COMPLY WITH THE CURRENT OREGON EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS (2011 EDITION W/ 2014 AMENDMENTS OF THE ORSC).
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. PLEASE NOTIFY THE ARCHITECTURAL TEAM OF ANY VARIATIONS FROM THESE DRAWINGS.
- ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTURAL TEAM BEFORE PROCEEDING WITH WORK. THESE DOCUMENTS ARE COPYRIGHT PROTECTED AND MAY NOT BE REPRODUCED, REDRAWN, TRACED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM WEST HILLS DEVELOPMENT.
- INSTALL APPROVED FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
- INSTALL WATERPROOF GYPSUM BOARD IN AND ABOVE ALL SHOWER AND TUB AREAS TO MINIMUM 12" ABOVE THE FLOOR.
- EXHAUST ALL VENTS AND FANS DIRECTLY OUTSIDE VIA METAL DUCTS. BATHROOMS CONTAINING A SHOWER OR BATHTUB MUST HAVE A FAN CAPABLE OF 80 CFM CONTROLLED BY A DE-HUMIDISTAT, THERM OR OTHER SIMILAR MEANS OF CONTROL. CONSULT THE CERTIFIED ENGINEER'S DRAWINGS FOR BEAM SIZES AND LATERAL ENGINEERING INFORMATION.
- GAS FURNACE: 90% MIN. AFUE TO BE INSTALLED IN AN INSULATED, THERMALLY CONDITIONED SPACE WITH INSULATION INSTALLED IN WALL CAVITIES OF CLOSET.
- ALL HVAC DUCTING TO BE INSTALLED IN AN INSULATED, CONDITIONED SPACE.
- ALL EXTERIOR CUT SURFACES TO BE PRIMED.
- REFER TO ARBOR ROOF AND WINDOW INSTALLATION MANUALS FOR ROOFING, FLASHING, AND INSTALLATION STANDARDS.

REQ CONSTRUCTION ENVELOPE STANDARDS:
(MEETS OR EXCEEDS THE 2011 EDITION W/ 2014 AMENDMENTS OF THE ORSC PRESCRIPTIVE ENVELOPE REQUIREMENTS)

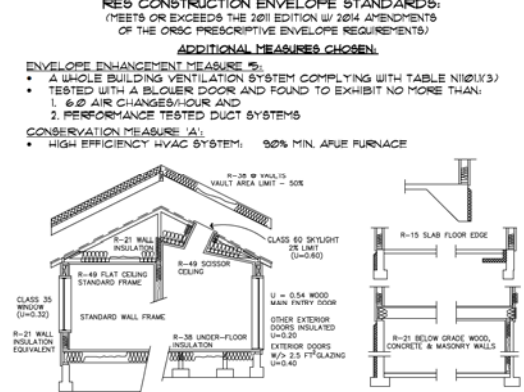
ADDITIONAL MEASURES CHOSEN:

ENVELOPE ENHANCEMENT MEASURE 5:

- A WHOLE BUILDING VENTILATION SYSTEM COMPLYING WITH TABLE N10(1)(3)
- TESTED WITH A BLOWER DOOR AND FOUND TO EXHIBIT NO MORE THAN:
 1. 6.0 AIR CHANGES/ HOUR AND
 2. PERFORMANCE TESTED DUCT SYSTEMS

CONSERVATION MEASURE 1A:

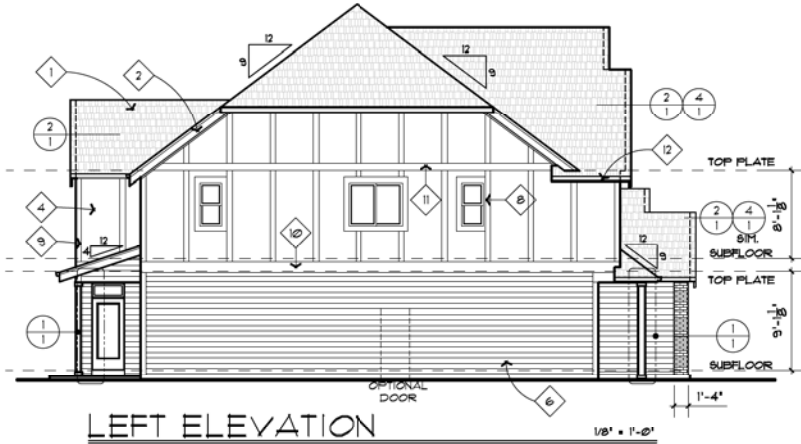
- HIGH EFFICIENCY HVAC SYSTEM: 90% MIN. AFUE FURNACE



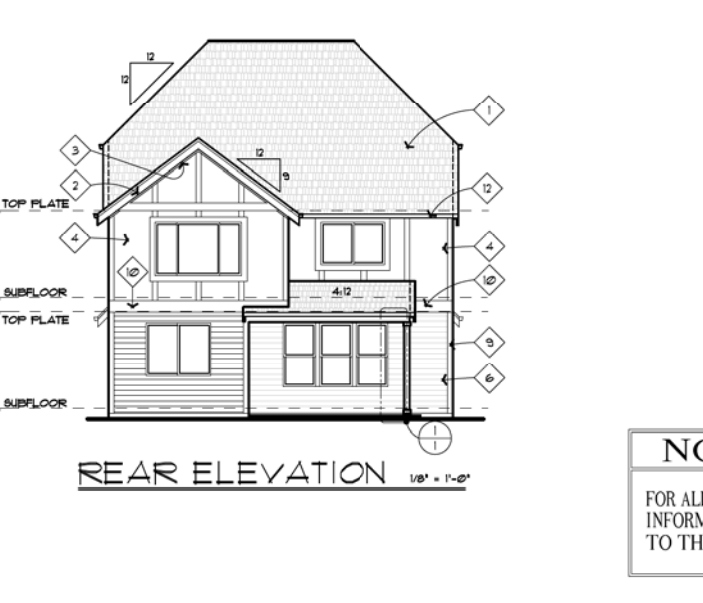
2 VERGE/RAKE DETAIL SCALE: N.T.S. PER-105

3 BRICK VENEER FLASHING DETAIL SCALE: 1/2" = 1'-0" BRICK FLASHING-1

4 EXTENDED GABLE DETAIL SCALE: 1/2" = 1'-0" PER-110



- EURO ENGLISH ELEVATION KEYNOTES**
- ROOFING (TYPICAL): 30 YEAR HEAVY WEIGHT FIBERGLASS COMPOSITION ROOFING.
 - VERGE BOARD (TYPICAL): R5 1x2 TRIM ON 2x8 VERGE BOARD.
 - SHADOW BOARD (TYPICAL): 1x8 TRIM BOARD AT FRONT AND ENHANCED SIDE AND 1x3 AT SIDES OVER HARDI-PANEL FLAT ON WALL AND BUTT TO UNDERSIDE OF ROOF SHEATHING.
 - SIDING (TYPICAL): HARDIE STUCCO BOARD SIDING W/ 1x6 BATTENS SPACED AT 48" O.C. EXCEPT AS SHOWN ON FRONT ELEVATION.
 - NOT USED
 - SIDING (TYPICAL): HORIZONTAL HARDIE LAP SIDING.
 - VENEER (TYPICAL): 4" BRICK VENEER WITH MASONRY TIES AT 16" O.C. EACH WAY AND HORIZONTAL NO. 9 WRB'S CONTINUOUS AT 12" O.C. EXTEND VENEER UP WALL AS SHOWN, PROVIDE SLOPING BRICK ROLLOUT WINDOW SILLS AND 8" SOLDIER COURSE ABOVE WINDOW.
 - WINDOW & DOOR TRIM: 5/4 x 6" TRIM AT PANEL SIDING (NO TRIM AT LAP SIDING EXCEPT AT ENHANCED ELEVATION AND AT FRONT ELEVATION AS SHOWN)
 - CORNER TRIM (TYPICAL): 1x6 TRIM AT STUCCO BOARD SIDING AND 5/4x6 TRIM AT LAP SIDING.
 - HORIZONTAL TRIM: 5/4x12 WITH 26 GA. 1" FLASHING OVER TOP OF TRIM AND INTEGRATE W/ WRB.
 - HORIZONTAL TRIM: 5/4x8 WITH 26 GA. 1" FLASHING OVER TOP OF TRIM AND INTEGRATE W/ WRB.
 - GUTTERS (TYP-UNO): 6" FASCIA STYLE 26 GA. STEEL GUTTER WITH 2"x3" STEEL DOWNSPOUTS. ALL GUTTERS TO BE SPIKED A MIN. OF 24" O.C. ALL JOINTS TO BE SCREWED AND SEALED WITH 'ALOCO' GUTTER SEAL OR EQUIV. CONNECT ALL DOWNSPOUTS TO RAIN DRAINS WHERE PROVIDED.
 - GARAGE DOOR TRIM: 5/4x8 AT HEAD AND 5/4x6 AT LEGS.
 - SHUTTERS (TYPICAL): 24" WIDE AS SHOWN, MATCH WINDOW HEIGHT



NOTE:
FOR ALL STRUCTURAL INFORMATION REFER TO THE (S) SHEETS

**PLAN 2467
HAVERTON
EURO ENGLISH
GARAGE LEFT**

MAIN LEVEL: 1076 SQ FT
UPPER LEVEL: 1481 SQ FT
GRAND TOTAL: 2557 SQ FT

GARAGE: 335 SQ FT