



OFFICE USE ONLY

FILE #: TP2022-0011
FILE NAME: Far West Recycling tree removal
TYPE: 2 RECEIVED BY: _____
FEE PAID: _____ CHECK/CASH: _____
SUBMITTED: 6.10.22 LWI DESIG: _____
LAND USE DESIG: IND NAC: DW/RW

TREE PLAN APPLICATION

PLEASE SELECT THE SPECIFIC TYPE OF TREE PLAN FROM THE FOLLOWING LIST:

- TYPE 1 TREE PLAN ONE
- TYPE 2 TREE PLAN TWO
- TYPE 3 TREE PLAN THREE
- TYPE 1 COMMERCIAL TIMBER HARVEST

APPLICANT: Use mailing address for meeting notification. Check box if Primary Contact

COMPANY: Portland General Electric
ADDRESS: 4678 NE 59th Ave
(CITY, STATE, ZIP) Hillsboro, Oregon 97124
PHONE: 971-348-7431 FAX: _____ E-MAIL: Daniel.Garvin@pgn.com
SIGNATURE: [Signature] CONTACT: Dan Garvin
(Original Signature Required)

APPLICANT'S REPRESENTATIVE: Check box if Primary Contact

COMPANY: Portland General Electric
ADDRESS: 4678 NE 59th Ave
(CITY, STATE, ZIP) Hillsboro, Oregon 97124
PHONE: 971-348-7431 FAX: _____ E-MAIL: Daniel.Garvin@pgn.com
SIGNATURE: [Signature] CONTACT: Dan Garvin
(Original Signature Required)

PROPERTY OWNER(S): Attach separate sheet if needed. Check box if Primary Contact

COMPANY: Pacific Lumber
ADDRESS: 10515 SW Allen Blvd
(CITY, STATE, ZIP) Beaverton Oregon 97124
PHONE: 503-479-3335 FAX: _____ E-MAIL: Tonys@paclumber.com
SIGNATURE: _____ CONTACT: Tony Sollman

Note: A land use application must be signed by the property owner(s) or by someone authorized by the property owner(s) to act as an agent on their behalf. If someone is signing as the agent of the property owner(s), that person must submit a written statement signed by the property owner(s), authorizing the person to sign the application.

PROPERTY INFORMATION (REQUIRED)

SITE ADDRESS: 10515 SW Allen Blvd AREA TO BE DEVELOPED (s.f.): _____
ASSESSOR'S MAP & TAX LOT # RR103140 LOT SIZE _____ ZONING DISTRICT _____ EXISTING USE OF SITE: _____
PROPOSED DEVELOPMENT ACTION: _____
PRE-APPLICATION DATE: _____

TREE PLAN APPLICATION

WRITTEN STATEMENT REQUIREMENTS - REQUIRED FOR ALL TREE PLAN APPLICATIONS

- A. APPLICATION FORM.** Provide **one (1) completed** application form with original signature(s).
 - *Have you submitted for a permit from another division?*
- B. CHECKLIST.** Provide **one (1) completed** copy of this four (4) page checklist.
- C. WRITTEN STATEMENT.** Submit **three (3) copies** of a detailed description of the proposed project including, but not limited to, the changes to the site, structure, landscaping, parking, and land use.
 - Provide individual findings specifically addressing how and why the proposal satisfies each of the approval criteria specified in Section 40.90 (Tree Plan) of the City's *Development Code* (ORD 2050) [attached] for the relevant type of tree plan application.
 - Address all applicable provisions of Section 60.60 (Trees & Vegetation) of the Development Code.
- D. FEES,** as established by the City Council. Make checks payable to the City of Beaverton.
- E. SITE ANALYSIS INFORMATION.**

Proposed parking modification: _____ sq. ft.	<input type="checkbox"/> Existing building height: _____ ft.
Proposed number of parking spaces: _____	Proposed building height: _____ ft.
Proposed use: _____	Existing building area: _____ sq. ft.
Parking requirement: _____	Proposed building modification: _____ sq. ft.
<input type="checkbox"/> Existing parking area: _____ sq. ft.	<input type="checkbox"/> Existing landscaped area: _____ sq. ft.
Existing number of parking spaces: _____	Percentage of site: _____ %
	Proposed landscape modification: _____ sq. ft.
	Percentage of site: _____ %
- F. CLEAN WATER SERVICES (CWS) DOCUMENTATION.** Pursuant to Section 50.25.1.F of the City's *Development Code* requires that all development proposals provide written documentation from Clean Water Services (formerly Unified Sewerage Agency) stating that water quality will not be adversely affected by the subject proposal. Therefore, the City recommends that you contact CWS in order to obtain the required documentation. For more information, please contact Lindsey Obermiller, Environmental Plan Reviewer at 503-681-3653 or ObermillerL@CleanWaterServices.org
- G. PRE-APPLICATION CONFERENCE NOTES. (REQUIRED FOR TYPE 2, 3, & 4 APPLICATIONS ONLY)**
Provide a copy of the pre-application conference summary as required by the City's *Development Code Section 50.25.1.E*. The Pre-Application Conference must be held within the one (1) year prior to the submission date of the proposed project application.

H. NEIGHBORHOOD REVIEW MEETING. (REQUIRED FOR TYPE 3 APPLICATIONS ONLY)

Provide the following information as required by the City's *Development Code Section 50.10.2*. The Neighborhood Review Meeting must be held within the six (6) months prior to the submission date of the proposed project application.

- 1. A copy of the meeting notice mailed to surrounding property owners and the NAC Representative
- 2. A copy of the mailing list used to mail out the meeting notice.
- 3. A written statement representative of the on-site posting notice.
- 4. Affidavits of mailing and posting
- 5. Representative copies of written materials and plans presented at the Neighborhood Review Meeting.
- 6. Meeting minutes that include date, time and location, as well as, oral and written comments received.
- 7. Meeting sign-in sheet that includes names and address of attendees.
- 8. Documentation verifying that the meeting minutes and sign-in sheets have been provided to the NAC representative.

I. OTHER REQUIREMENTS. Provide documentation showing that the project proposed is permitted by, or satisfies the requirements of, other agencies and/or jurisdictions OR submit a schedule that details the forecasted submission and approval timelines for permits/applications to the respective agencies and/or jurisdictions.

PLANS & GRAPHIC REQUIREMENTS - REQUIRED FOR ALL TREE PLAN APPLICATIONS

All plans shall be presented at a minimum of **1" = 20'** engineering scale and on a maximum sheet size of **24" x 36"**. **A total of three (3) copies of each plan shall be submitted, unless otherwise noted. All plans shall be stapled together then folded to fit a legal size file jacket.**

Each of the following plans and drawings shall be submitted on separate sheets. If the size of the project requires the use of match line sets, each set of match line sets must include a sheet (at a scale to fit a 24" x 36" sheet) depicting the entire site, including match lines, as a cover sheet.

Include the following information as indicated:

A. EXISTING CONDITIONS PLAN (Required for Tree Plan Two and Tree Plan Three only):

- 1. North arrow, scale and date of plan.
- 2. Vicinity map.
- 3. The entire lot(s), including area and property lines dimensioned.
- 4. Points of existing access, interior streets, driveways, and parking areas.
- 5. Location of all existing buildings and structures, including refuse storage locations, pedestrian/bike paths, swimming pools, tennis courts, tot lots, and lighting.
- 6. Existing right-of-way and improvements.
- 7. Dimension from centerline to edge of existing right-of-way.
- 8. Existing topographical information, showing 2 ft. contours.
- 9. Surrounding development and conditions within 100 ft. of the property such as zoning, land uses, buildings, driveways, and trees.
- 10. Location of existing public and private utilities, easements, and 100-year floodplain.
- 11. Location, quantities, size (diameter breast height (dbh)), genus and species of all Protected Trees and Community Trees, as applicable, that are 10" dbh or greater shall be shown on the site plan. Protected Trees include Significant Individual Trees, Historic Trees, Trees within a Significant Natural Resource Area or Significant Grove, and Mitigation Trees that are not grown for the purpose of bearing edible fruits and nuts for human consumption.
- 12. Location of all western hemlock (*Tsuga heterophylla*), mountain hemlock (*Tsuga mertensiana*), Pacific madrone (*Arbutus andrachne*) and big-leaf maple (*Acer macrophyllum*) that are 6" dbh or greater and are within a Significant Natural Resource Area or Significant Grove.
- 13. Identification of trees proposed for retention or removal.

- 14. Existing drip line canopy of individual trees or grove trees.
- 15. Existing root zone of each tree. Root zone is defined as an area 5 feet beyond the drip line of the tree.
- 16. Sensitive areas, as defined by Clean Water Services (CWS) standards.
- 17. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock outcroppings, and streams. *Wetlands must be professionally delineated.*
- 18. Tree Mitigation Table demonstrating the DBH of the surveyed trees on site, separated into conifer and deciduous categories, the DBH proposed for removal, how the DBH meets or exceeds the removal threshold, identifying the Mitigation Threshold (50% of the surveyed tree DBH on the site), the DBH to be mitigated and whether the DBH is to be mitigated on site, off site, or fee in lieu. An example table is given following 60.60.25.7.

B. DIMENSIONED SITE PLAN. *The dimensioned site plan shall be required for Tree Plan 2 and 3 proposals and shall address the proposed development of a site pertaining to impacts to trees, and shall specify as applicable the following:*

- 1. North arrow, scale and date of plan.
- 2. The entire lot(s), including area, property lines dimensioned and labeled "front," "side," and "rear."
- 3. Location, quantities, size (diameter breast height), genus and species of Significant Trees and Groves, Historic Trees, Trees within a Significant Natural Resource Area, and Community Trees, and identification of whether they are proposed to be removed or proposed to remain, as applicable. Trees within Significant Natural Resource Areas and Significant Groves are trees greater than 6" DBH for western hemlock (*Tsuga heterophylla*), mountain hemlock (*Tsuga mertensiana*), Pacific madrone (*Arbutus andrachne*) and big-leaf maple (*Acer macrophyllum*). All other trees measuring at least 10" DBH shall be shown on the site plan. Community Trees measure at least 10" DBH and are not trees that are grown for the purpose of bearing edible fruits or nuts for human consumption. Preserved trees shall be set aside in a separate tract, if the project includes a subdivision. Preserved trees shall be set aside in a conservation easement, if the project does not include a subdivision.
- 4. Dimensioned footprints of all structures and dimensioned area of all on-site parking and landscaped areas, and their lineal distance from trees proposed to be removed, to remain, or trees to be planted for mitigation.
- 5. Dimensioned tree mitigation areas specifying the location, quantities, size (diameter breast height), genus and species of trees within the mitigation area(s) identified, if applicable. Mitigation areas are to be set aside in a separate tract, if the project includes a subdivision. If the project does not include a subdivision, the mitigation trees must be set aside in a conservation easement.
- 6. Drip line canopy of individual trees or grove of trees.
- 7. Root zone area of each tree to be protected. Root zone is defined as an area 5 feet beyond the drip line of the tree.
- 8. Construction disturbance areas and methods to minimize construction impact including but not limited to the identification and location of construction fencing, the identification and location of erosion control measures, and the location of construction access roads including access to the public right-of-way.
- 9. Sensitive areas, as defined by CWS standards.
- 10. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock outcroppings, and streams. *Wetlands must be professionally delineated.*
- 11. Location of storm water quality/detention facilities.
- 12. Boundaries of development phases, if applicable.
- 13. Site grading information, showing 2 ft. contours.
- 14. Proposed right-of-way, dedications and improvements.
- 15. Dimension from centerline to edge of proposed right-of-way.

C. **DIMENSIONED SITE PLAN FOR PRUNING ONLY ACTIVITIES. For Type 1 Major Pruning as specified in 40.90.15.1.A.1 of the Development Code:**

- 1. North arrow, scale and date of plan.
- 2. The entire lot(s), including area, property lines dimensioned and labeled "front," "side," & "rear."
- 3. Location, quantities, size (diameter breast height), genus and species of Significant Trees, Significant Groves, Trees within a Significant Natural Resource Area, or Historic Trees proposed for major pruning.
- 4. Identification of tree canopies to be affected, and the percentage loss of total canopy amount for each impacted tree.

D. **DIMENSIONED SITE PLAN FOR TREE PLAN 1 APPLICATIONS, OTHER THAN PRUNING. The dimensioned site plan shall be required for all Tree Plan 1 proposals and shall address the proposed development of a site pertaining to impacts to trees, and shall specify as applicable the following:**

- 1. North arrow, scale and date of plan.
- 2. The entire lot(s), including area, property lines dimensioned and labeled "front," "side," and "rear."
- 3. Location, quantities, size (diameter breast height), genus and species of Significant Trees and Groves, Historic Trees, Trees within a Significant Natural Resource Area, and Community Trees, and identification of whether they are proposed to be removed or proposed to remain, as applicable. Trees within Significant Natural Resource Areas and Significant Groves are trees greater than 6" DBH for western hemlock (*Tsuga heterophylla*), mountain hemlock (*Tsuga mertensiana*), Pacific madrone (*Arbutus andrachne*) and big-leaf maple (*Acer macrophyllum*). All other trees measuring at least 10" DBH shall be shown on the site plan. Community Trees measure at least 10" DBH and are not trees that are grown for the purpose of bearing edible fruits or nuts for human consumption. Preserved trees shall be set aside in a separate tract, if the project includes a subdivision. Preserved trees shall be set aside in a conservation easement, if the project does not include a subdivision.
- 4. Dimensioned footprints of all trails, structures, and dimensioned area of all on-site parking and landscaped areas, and their lineal distance from trees identified in #3 above.
- 5. Drip line canopy of trees identified in #3 above.
- 6. Root zone area of each tree to be protected. Root zone is defined as an area 5 feet beyond the drip line of the tree.
- 7. Construction disturbance areas and methods to minimize construction impact including but not limited to the identification and location of construction fencing, the identification and location of erosion control measures, and the location of construction access roads including access to the public right-of-way.
- 8. Sensitive areas, as defined by CWS standards.
- 9. Wetland boundaries, upland wooded area boundaries, riparian area boundaries, rock outcroppings, and streams. *Wetlands must be professionally delineated.*
- 10. Location of storm water quality/detention facilities.
- 11. Site grading information, showing 2 ft. contours.
- 12. Proposed right-of-way, dedications and improvements.
- 13. Dimension from centerline to edge of proposed right-of-way.
- 14. Description of finished trail surface.

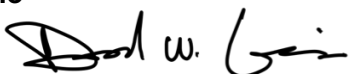
I have provided all the items required by this four (4) page submittal checklist. I understand that any missing information, omissions or both may result in the application being deemed incomplete, which may lengthen the time required to process the application.

Daniel W. Garvin

971-348-7431

Print Name

Telephone Number



5-16-2022

Signature

Date



TREE PLAN ONE APPROVAL CRITERIA

PURSUANT TO SECTION 50.25.1.B OF THE DEVELOPMENT CODE, A WRITTEN STATEMENT ADDRESSING THE APPROVAL CRITERIA FOR AN APPLICATION MUST BE SUBMITTED IN ORDER FOR AN APPLICATION TO BE DEEMED COMPLETE. STATEMENTS SUCH AS “NOT APPLICABLE” OR “THE PROPOSAL WILL COMPLY WITH APPLICABLE DEVELOPMENT REGULATIONS” ARE NOT SATISFACTORY. THE WRITTEN STATEMENT MUST ADDRESS EACH CRITERION AND MUST SPECIFY IN DETAIL HOW EACH WILL BE COMPLIED WITH.

An applicant for Tree Plan One shall address compliance with all of the following Approval Criteria as specified in 40.90.15.1.C.1-6 of the Development Code:

- 1. The proposal satisfies the threshold requirements for a Tree Plan One application.
- 2. All City application fees related to the application under consideration by the decision making authority have been submitted.
- 3. The proposal contains all applicable application submittal requirements as specified in Section 50.25.1 of the Development Code.
- 4. If applicable pruning is necessary to improve tree health or to eliminate conflicts with vehicles or structures which includes, but is not limited to, underground utilities and street improvements.
- 5. If applicable, the removal of vegetation or clearing and grubbing is necessary to accommodate the physical development in the area in which the removal is proposed.
- 6. Applications and documents related to the request, which will require further City approval, shall be submitted to the City in the proper sequence.

TREE PLAN TWO APPROVAL CRITERIA

Revised 07/2009

PURSUANT TO SECTION 50.25.1.B OF THE DEVELOPMENT CODE, A WRITTEN STATEMENT ADDRESSING THE APPROVAL CRITERIA FOR AN APPLICATION MUST BE SUBMITTED IN ORDER FOR AN APPLICATION TO BE DEEMED COMPLETE. STATEMENTS SUCH AS “NOT APPLICABLE” OR “THE PROPOSAL WILL COMPLY WITH APPLICABLE DEVELOPMENT REGULATIONS” ARE NOT SATISFACTORY. THE WRITTEN STATEMENT MUST ADDRESS EACH CRITERION AND MUST SPECIFY IN DETAIL HOW EACH WILL BE COMPLIED WITH.

An applicant for Tree Plan Two shall address compliance with all of the following Approval Criteria as specified in 40.90.15.2.C.1-14 of the Development Code:

- 1. The proposal satisfies the threshold requirements for a Tree Plan Two application.
- 2. All City application fees related to the application under consideration by the decision making authority have been submitted.
- 3. If applicable, removal of any tree is necessary to observe good forestry practices according to recognized American National Standards Institute (ANSI) A300-1995 standards and International Society of Arborists (ISA) standards on the subject.
- 4. If applicable, removal of any tree is necessary to accommodate physical development where no reasonable alternative exists.
- 5. If applicable, removal of any tree is necessary because it has become a nuisance by virtue of damage to property or improvements, either public or private, on the subject site or adjacent sites.
- 6. If applicable, removal is necessary to accomplish public purposes, such as installation of public utilities, street widening, and similar needs, where no reasonable alternative exists without significantly increasing public costs or reducing safety.
- 7. If applicable, removal of any tree is necessary to enhance the health of the tree, grove, SNRA, or adjacent trees to eliminate conflicts with structures or vehicles.
- 8. If applicable, removal of any tree(s) within a SNRA or Significant Grove will not result in a reversal of the original determination that the SNRA or Significant Grove is significant based on criteria used in making the original significance determination.
- 9. If applicable, removal of a tree(s) within a SNRA or Significant Grove will not result in the remaining trees posing a safety hazard due to the effects of windthrow.
- 10. The proposal is consistent with all applicable provisions of Section 60.60 Trees and Vegetation and Section 60.67 Significant Natural Resources.
- 11. Grading and contouring of the site is designed to accommodate the proposed use and to mitigate adverse effect(s) on neighboring properties, public right-of-way, surface drainage, water storage facilities, and the public storm drainage system.
- 12. The proposal contains all applicable application submittal requirements as specified in Section 50.25.1 of the Development Code.
- 13. Applications and documents related to the request, which will require further City approval, shall be submitted to the City in the proper sequence.

Received
Planning Division
6/10/2022

Received
Planning Division
12/16/2022

OFFICE USE ONLY



CITY OF BEAVERTON
Community Development
Department
Planning Division
12725 SW Millikan Way
PO Box 4755
Beaverton, OR. 97076
Tel: (503) 526-2420
Fax: (503) 526-2550
BeavertonOregon.gov

FILE #: TP2022-0011
FILE NAME: Far West Recycling tree removal
TYPE: _____ RECEIVED BY: _____
FEE PAID: _____ CHECK/CASH: _____
SUBMITTED: 6.10.22 LWI DESIG: _____
LAND USE DESIG: IND NAC: DW/RW

TREE PLAN APPLICATION

PLEASE SELECT THE SPECIFIC TYPE OF TREE PLAN FROM THE FOLLOWING LIST:

- TYPE 1 TREE PLAN ONE
- TYPE 2 TREE PLAN TWO
- TYPE 3 TREE PLAN THREE
- TYPE 1 COMMERCIAL TIMBER HARVEST

APPLICANT: Use mailing address for meeting notification. Check box if Primary Contact

COMPANY: Portland General Electric
 ADDRESS: 4678 NE 59th Ave
 (CITY, STATE, ZIP) Hillsboro, Oregon 97124
 PHONE: 971-348-7431 FAX: _____ E-MAIL: Daniel.Garvin@pgn.com
 SIGNATURE: *Dan Garvin* CONTACT: Dan Garvin
 (Original Signature Required)

APPLICANT'S REPRESENTATIVE: Check box if Primary Contact

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 SIGNATURE: *Tony Sollman* CONTACT: Tony Sollman

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PROPERTY INFORMATION (REQUIRED)

SITE ADDRESS: 10515 SW Allen Blvd AREA TO BE DEVELOPED (s.f.): _____
 ASSESSOR'S MAP & TAX LOT # RR103140 LOT SIZE _____ EXISTING USE OF SITE: _____
 ZONING DISTRICT _____
 PROPOSED DEVELOPMENT ACTION: _____
 PRE-APPLICATION DATE: _____



Received
Planning Division
6/10/2022

Community Development Department
Planning Division
12725 SW Millikan Way / PO Box 4755
Beaverton, OR 97076
General Information: (503) 526-2222 V/TDD
www.BeavertonOregon.gov

PRE-APPLICATION - HOLD HARMLESS AGREEMENT FORM

Applicable only to Type 2 Applications

Pursuant to Section 50.20.1 of the Beaverton Development Code, a Pre-Application Conference is required for all proposals which require Type 2, Type 3 or Type 4 applications. A Pre-Application Conference is optional for Type 1 applications. The purpose of the pre-application conference is to acquaint the City and outside agencies and service providers with a potential application, and to acquaint the applicant with the requirements of the Development Code, the Comprehensive Plan, and other relevant criteria and procedures for submitting a complete land use application.

By signing this form, the applicant has elected to not hold a Pre-Application Conference with City staff. By making such choice, the applicant understands that the City staff will not provide a detailed list of application submittal requirements before the applicant files a land use application with the City. The applicant accepts responsibility for submitting a complete application and holds the City harmless from identifying additional application submittal requirements during the completeness review of the submitted land use application.

Please note: There is an option to forgo the Pre-Application Conference only if the proposal is subject to a Type 2 application. If your proposal requires Type 3 or has the potential for Type 3 application, the Pre-Application Conference is required and this option is not available. The only exception for a Type 3 application, subject to the approval of the Director, is in the instance where a Type 3 application is identified as a required application after completeness.

Please respond to the following:

1. Below, please check the appropriate application(s) filed or to be filed with the City:

- | | |
|---|---|
| <input type="checkbox"/> Adjustment (Minor – Type 2) | <input type="checkbox"/> Home Occupation (Type 2) |
| <input type="checkbox"/> Conditional Use (<u>Admin</u> or <u>Minor</u> Modification) | <input type="checkbox"/> Land Division (Partition or Subdivision) |
| <input type="checkbox"/> Design Review (Type 2) | <input type="checkbox"/> Loading Determination |
| <input type="checkbox"/> Director’s Interpretation | <input type="checkbox"/> Parking Determination |
| <input type="checkbox"/> Flexible Setback (Type 2) | <input checked="" type="checkbox"/> Tree Plan (Type 2) |
| <input type="checkbox"/> Other Application Type _____ | |

2. Below, please sign and date in response to the following statement:

I, DAN HARVIN - PGE as the applicant or legal representative of the applicant applying for:
(PRINT NAME)

(APPLICATION DESCRIPTION)
hereby announce my intention to forgo the Pre-Application requirement identified by the City of Beaverton Development Code. By signing this form, I voluntarily assume all risks, liabilities and damages and shall further hold harmless the City of Beaverton against any and all risks, liabilities and/or damages that may arise from the final action(s) issued by the City in response to the application(s) identified above.

Signed by: Dan W. G. Date: 5-6-2022

Tree Removal narrative Tax lot R103140,
Location 15015 SW Allen Blvd, Beaverton Oregon.
Tree removal criteria for Plan two.

1. The proposal satisfies the threshold requirements for a Tree Plan Two application.

- *6 cottonwood trees and 1 pine tree were reduced below primary powerline height due to a large power outage. This removal process resulted in more than 10% of the DBH being removed, I have included a statement from the PGE forester at time of tree reduction in my summary statement at end of document.*

2. All City application fees related to the application under consideration by the decision-making authority have been submitted.

- *All permit requirements and fees were paid to City of Beaverton.*

3. If applicable, removal of any tree is necessary to observe good forestry practices according to recognized American National Standards Institute (ANSI) A300-1995 standards and International Society of Arborists (ISA) standards on the subject.

- *Pruning is not a viable option for the dead cottonwood trees, the trees were dead before time of crown removal, the upper canopy was removed to not pose a hazard to utility lines or public. The trees were left as standing stems for wildlife, Removal is the only viable option at the request from city of Beaverton to ground level.*

4. If applicable, removal of any tree is necessary to accommodate physical development where no reasonable alternative exists.

- *No alternative to complete removal exists, trees are standing dead, Removal has been requested by city Arborist.*

5. If applicable, removal of any tree is necessary because it has become a nuisance by virtue of damage to property or improvements, either public or private, on the subject site or adjacent sites.

- *Complete tree removal necessary, trees are dead.*

6. If applicable, removal is necessary to accomplish public purposes, such as installation of public utilities, street widening, and similar needs, where no reasonable alternative exists without significantly increasing public costs or reducing safety.

- *No development will be taking places as a result of these removals, Cottonwood trees were identified by City of Beaverton arborist as needing removal, PGE will remove Trees that were previously reduced to standing stems for powerline safety at no cost to the city.*

7. If applicable, removal of any tree is necessary to enhance the health of the tree, grove, SNRA, or adjacent trees to eliminate conflicts with structures or vehicles.

- *Complete tree removal is requested from City of Beaverton, removal of trees will also reduce and risk to public or property in future.*

8. If applicable, removal of any tree(s) within a SNRA or Significant Grove will not result in a reversal of the original determination that the SNRA or Significant Grove is significant based on criteria used in making the original significance determination.

- *Trees in question are inside of a SNRA, removing the remainder of trees previously reduced will have no adverse effects on remainder of the SNRA. The total DBH of this SNRA trees = 576 total inches for stand
Removal of the trees identified in this permit package is 147" this will result in 26% of the total DBH being removed from stand, this is well below the 50% threshold outlined in plan two criteria for restoration.*

9. If applicable, removal of a tree(s) within a SNRA or Significant Grove will not result in the remaining trees posing a safety hazard due to the effects of windthrow.

- *Removal of the dead trees will not have an affect on remaining trees or result of any windthrow, the trees in question are well below upper canopy of remaining trees in stand, they pose no wind reduction / balancing value for remining trees.*

10. The proposal is consistent with all applicable provisions of Section 60.60 Trees and Vegetation and Section 60.67 Significant Natural Resources.

This proposal is consistent 60.60.15 as cited below,

- #8 of 60.60.15
Hazardous and dead trees within Significant Groves and SNRAs should be fallen only for safety and left at the resource site to serve as habitat for wildlife, unless the tree has been diagnosed with a disease and must be removed from the area to protect the remaining trees.
- *No viable option exists to leave the logs from the dead trees onsite, as a result the wood will need to be hauled off (if the city has a site they would prefer the wood be hauled to please advise)?*

11. Grading and contouring of the site is designed to accommodate the proposed use and to mitigate adverse effect(s) on neighboring properties, public right-of-way, surface drainage, water storage facilities, and the public storm drainage system.

- *No grading or adverse effects to neighboring property will take place during tree removals.*

12. The proposal contains all applicable application submittal requirements as specified in Section 50.25.1 of the Development Code.

- *The application contains all the applicable submittal requirements.*

13. Applications and documents related to the request, which will require further City approval, shall be submitted to the City in the proper sequence.

- Documents as requested are attached to initial permit request.

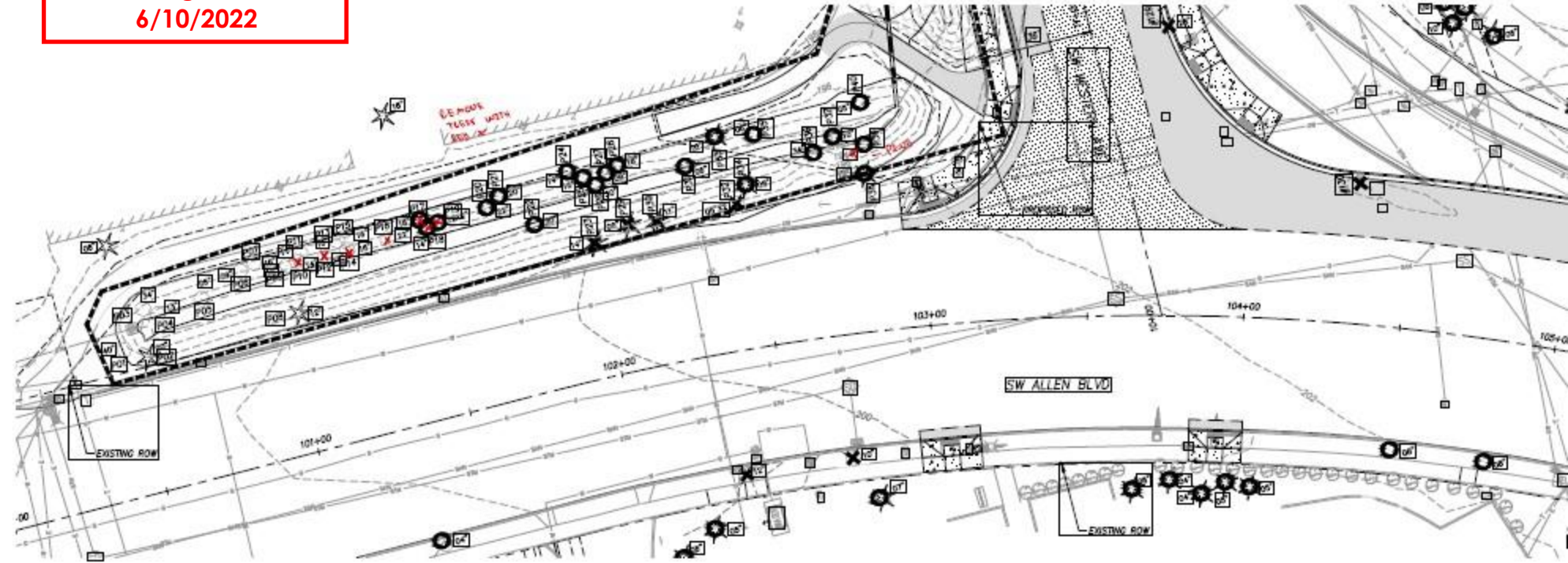
Narrative regarding Section 60.60 of the City of Beaverton Tree code.

- No mitigation is required as less than 50% of total stand will be removed within this permit.
- Owner is not pruning any of the remaining trees within the lot nor requesting to remove any protected tree so Subsection 60.60.15 is not applicable.

Initial request from city arborist as cited in item #1

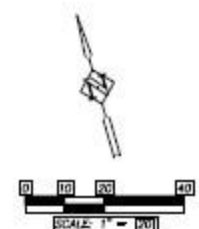
- Jered Lane, our City Arborist, has notified me that 1 Pine tree (15" DBH) and 6 Cottonwood trees (17", 23", 19", 26", 16", and 31" DBH) were impacted, and they will need to be completely removed as they will become hazardous.

Received
Planning Division
6/10/2022



SW ALLEN BLVD - STA 100+00 TO 106+00

SEE SHEET 1017 FOR
CORRESPONDING
TREE ID INFORMATION



SW Western Ave Tree
InformationReceived
Planning Division
11-23-2022

Tree #	Code	DBH	Tree Condition				
			Hazard	Poor	Fair	Good	Exl
000001	H	12	X				
000002	CW	29			X		
000003	CW	38		X			
000004	CW	23	X				
000005	P	28				X	
000006	CW	37			X		
000007	CW	38			X		
000008	CW	32		X			
000009	CW	26	X				
000010	CW	21	X				
000011	P	24		X			
000012	CW	8	X				
000013	CW	8				X	
000014	CW	8				X	
000015	CW	14			X		
000016	CW	25			X		
000017	CW	17		X			
000018	P	10				X	
000019	WC	28			X		
000020	CW	31			X		
000021	CW	29			X		
000022	CW	21			X		
000023	CW	20		X			
000024	CW	8	X				
000025	CW	32			X		
000026	CW	9		X			
000027	CW	23	X				
000028	CW	22			X		
000029	CW	9		X			
000030	CW	16		X			
000031	CW	8	X				
000032	CW	9	X				
000033	CW	24		X			
000034	CW	22		X			
000035	CW	22		X			
000036	CW	14		X			
000037	CW	6				X	
000038	CW	8				X	
000039	CW	29	X				
000040	CW	30				X	